



ACTIVITY DETERMINATION

Project No. BGZF9

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.....

Yolanda Gil

Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

Dated..... 29 February 2024

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the Identified Requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

3 & 1-5

Street or property name

Cooke Avenue & Deegan Drive

Suburb, town or locality

Alstonville

Postcode

2447

Local Government Area(s)

Ballina

Real property description (Lot and DP)

Lots 150, 151, 152 & 153 in Deposited Plan 243997

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 4 dwellings and associated structures, tree removal, and the construction of a 2-storey seniors housing development containing 8 x 1 bedroom and 8 x 2 bedroom independent living units, parking for 12 cars, associated site works and landscaping, and consolidation into a single lot.

Signed.....

Dated...29 February 2024

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned Identified Requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural				
Coversheet	1 of 18	-	18.09.2023	DTA Architects
Block Analysis Plan	2 of 18	A	18.09.2023	DTA Architects
Site Analysis Plan	3 of 18	A	18.09.2023	DTA Architects
Demolition Plan	4 of 18	A	18.09.2023	DTA Architects
Development Data	5 of 18	A	18.09.2023	DTA Architects
Site and Ground Floor Plan	6 of 18	A	18.09.2023	DTA Architects

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
First Floor Plan	7 of 18	A	18.09.2023	DTA Architects
Roof Plan	8 of 18	A	18.09.2023	DTA Architects
Elevations	9 of 18	A	18.09.2023	DTA Architects
Elevations	10 of 18	A	18.09.2023	DTA Architects
Sections	11 of 18	A	18.09.2023	DTA Architects
Shadow Diagrams - (June 21st 9am)	12 of 18	A	18.09.2023	DTA Architects
Shadow Diagrams - (June 21st 12pm)	13 of 18	A	18.09.2023	DTA Architects
Shadow Diagrams - (June 21st 3pm)	14 of 18	A	18.09.2023	DTA Architects
View from Sun Diagrams	15 of 18	A	18.09.2023	DTA Architects
View from Sun Diagrams	16 of 18	A	18.09.2023	DTA Architects
Perspectives	17 of 18	A	18.09.2023	DTA Architects
Perspectives	18 of 18	A	18.09.2023	DTA Architects
Civil/ Stormwater				
Cut and Fill Plan	1 of 1	C	18.09.2023	MSL Consulting Engineers
Specification Sheet	1 of 7	C	18.09.2023	MSL Consulting Engineers
Site Drainage Plan	2 of 7	C	18.09.2023	MSL Consulting Engineers
Drainage Plan – Sheet 1	3 of 7	C	18.09.2023	MSL Consulting Engineers
Drainage Plan – Sheet 2	4 of 7	C	18.09.2023	MSL Consulting Engineers
OSD Section and Stormwater Details	5 of 7	C	18.09.2023	MSL Consulting Engineers
Stormwater Details	6 of 7	C	18.09.2023	MSL Consulting Engineers
Sediment Control Plan	7 of 7	C	18.09.2023	MSL Consulting Engineers
Landscape				
Landscape Plan	1 No of 2	B	28.08.2023	DTA Architects
Landscape Plan	2 No of 2	B	28.08.2023	DTA Architects
Survey				
Detail Survey Sheet 1	1 of 4	-	16.09.2022	RPS Australia East Pty Ltd
Detail Survey Sheet 2	2 of 4	-	16.09.2022	RPS Australia East Pty Ltd
Detail Survey Sheet 3	3 of 4	-	16.09.2022	RPS Australia East Pty Ltd
Detail Survey Sheet 4	4 of 4	-	16.09.2022	RPS Australia East Pty Ltd
BASIX				
BASIX Certificate	1396564M_04	-	20.10.2023	Greenview Consulting Pty Ltd
Nationwide house energy rating scheme – class 2 summary	0009006130	-	20.10.2023	Greenview Consulting Pty Ltd
NaTHERS Stamped Plans	0009006130	-	20.10.2023	-
NaTHERS Thermal Performance Specification	-	-	-	Greenview Consulting Pty Ltd
Reports				
Traffic Impact Assessment	-	4	06.09.2023	ParkTransit Pty Ltd

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Arboricultural Impact Assessment Report	-	-	21.08.2023	Arbor Ecological
Waste Management Plan	-	-	06.09.2023	DTA Architects
Access Report	22359-DA	R1.2	26.08.2023	Ai Consultancy
Safe Design of Building and Structures Report	-	A	11.07.2023	De Angelis Taylor + Associates
Residential Site Investigation Report	39844-GR01_A	A	06.10.2022	Barnson Pty Ltd
BCA Compliance Assessment	P230106	5	05.09.2023	BCA Vision

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the NSW Land and Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Ballina Shire Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access and Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrances / exits to the property. The crossings and laybacks shall be constructed in accordance with Ballina Shire Council's standard requirements for residential crossings. Council shall

be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.

11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks/driveways shall be borne by the NSW Land and Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with Ballina Shire Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the buildings in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified

expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the NSW Land and Housing Corporation on completion of the remediation works.

Landscaping

18. A. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) as modified by this Identified Requirement; and maintained for a period of 12 months by the building contractor.
- B. The landscape plan(s) is to be updated to replace turfed areas adjacent to Unit 14 and the communal open space with shrubs and ground covers.
- C. Two street trees are to be provided in the road reserve , and a nature strip landscape plan for any new plantings is to be prepared, in consultation with Ballina Shire Council.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the NSW Land and Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan(s) and Arboricultural Impact Assessment Report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The

various service authorities shall be consulted regarding their requirements for the disconnection of services.

25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the NSW Land and Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. local council or Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Ballina Shire Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of 5 working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible NSW Land and Housing Corporation officer for the work, and

- (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
- (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. No building or demolition materials are to be stored on the footpath or roadway.

Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Ballina Shire Council or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
35. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment Report.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the NSW Land and Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. local council or Sydney Water), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the NSW Land and Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Ballina Shire Council's drainage code.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

43. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
44. Land fill materials must satisfy the following requirements:
- i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

45. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or indigenous items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.
46. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

Demolition

47. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
48. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
49. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.
50. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
51. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
52. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the NSW Land and Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
53. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
54. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
55. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

56. Survey reports shall be submitted by the building contractor to the NSW Land and Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

57. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

58. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

59. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
60. No fires shall be lit or waste materials burnt on the site.
61. No washing of concrete forms or trucks shall occur on the site.
62. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
63. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
64. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
65. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

66. NSW Land and Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
67. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

68. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

69. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Council Infrastructure Damage

70. The cost of repairing any damage caused to Ballina Shire Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

71. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

Where required by Ballina Shire Council a positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Ballina Shire

Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the NSW Land and Housing Corporation and Ballina Shire Council.

PART B – Additional Identified Requirements

Specific Requirements for Seniors Housing

72. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of *State Environmental Planning Policy (Housing) 2021* as it was in force immediately before State Environmental Planning Policy Amendment (Housing) 2023 was made.

Note:

This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

73. Only the following kinds of people shall be accommodated in the approved development:
- (a) seniors or people who have a disability; or
 - (b) people who live within the same household with seniors or people who have a disability; or
 - (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

74. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
75. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
76. A 1.2m wide concrete footpath across the site frontage shall be constructed in accordance with the Ballina Shire Council specifications to provide an accessible pathway along the site frontage.

Note:

The responsible officer at the Ballina Shire Council shall be contacted regarding Council's specifications and any necessary approvals.

77. Entry doors to units shall to be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

78. Privacy screening:

- i. Vertical slat privacy fencing, measuring 1.6m high from finished floor level and with 10mm gaps between slats, to be fixed to:
 - the northern edge of Unit 1 patio,
 - the northern edge of Unit 2 patio, from the balcony support column to the façade,
 - the southern edge of Unit 5 patio, from the balcony support column to the façade, and
 - the northern edge of Unit 6 patio, from the balcony support column to the façade.
- ii. A privacy screen, is to be provided along the western edge of the balcony of Unit 16 for a width of 1m, measured from the building facade. The privacy screening is to be consistent with the privacy screening provided on the northern edge of the balcony for Unit 15.

Requirements Resulting from Council Comments

79. All windows and doors are to be fitted with insect screens.
80. A detailed dilapidation report is to be prepared to include Council assets and adjoining properties. A copy of the report is to be provided to the NSW Land and Housing Corporation and Ballina Shire Council.
81. Where rainwater tanks are installed, both the inlet and outlet (overflow) must be effectively screened with stainless steel or other durable materials to prevent entry to the tank by mosquitoes. Inlet filters must be readily removable for cleaning.
82. Pursuant to Section 64 of the *Local Government Act 1993*, contributions, in the amount of \$90,864 are to be paid to Ballina Shire Council.
83. **Brown Avenue driveway crossing** – driveway width across the Brown Avenue road reserve to be minimum 5.5m wide from the edge of seal to the property boundary, where it shall taper down to a 3m wide carriageway.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

Decision Statement

Project No. BGZF9

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No	Street or property name
3 & 1-5	Cooke Avenue & Deegan Drive
Suburb, town or locality	Postcode
Alstonville	2447
Local Government Area(s)	Real property description (Lot and DP)
Ballina	Lots 150, 151, 152 & 153 in Deposited Plan 243997
ACTIVITY DESCRIPTION	
Provide a description of the activity	
Demolition of 4 dwellings and associated structures, tree removal, and the construction of a 2-storey seniors housing development containing 8 x 1-bedroom and 8 x 2-bedroom independent living units, parking for 12 cars, associated site works and landscaping, and consolidation into a single lot.	

NSW Land and Housing Corporation has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Ballina Shire Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.
- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed.....

Dated.....29 February 2024

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Homes NSW

DA ISSUE ONLY

SENIORS HOUSING DEVELOPMENT

Lots 150, 151, 152 & 153 in DP 243997

3 Cooke Ave & 1, 3 & 5 Deegan Dr. Alstonville NSW 2477



CORNER COOKE AVENUE & BROWN AVENUE



DEEGAN DRIVE

DRAWING SCHEDULE:

ARCHITECTURAL				SURVEY			
COVER PAGE	Type	Sheet No.	Rev	DETAIL SURVEY	Type	Sheet No.	Rev
	A	01 of 18	A		S	1 of 4	2
BLOCK ANALYSIS PLAN	A	02 of 18	A	DETAIL SURVEY	S	2 of 4	2
SITE ANALYSIS PLAN	A	03 of 18	A	DETAIL SURVEY	S	3 of 4	2
DEMOLITION PLAN	A	04 of 18	A	DETAIL SURVEY	S	4 of 4	2
DEVELOPMENT DATA	A	05 of 18	A	CIVIL / STORMWATER			
SITE & GROUND FLOOR PLAN	A	06 of 18	A	SPECIFICATION SHEET	Type	Sheet No.	Rev
FIRST FLOOR PLAN	A	07 of 18	A		SW	1 of 7	C
ROOF PLAN	A	08 of 18	A	SITE DRAINAGE PLAN	SW	2 of 7	C
ELEVATIONS	A	09 of 18	A	DRAINAGE PLAN - SHEET 1	SW	3 of 7	C
ELEVATIONS	A	10 of 18	A	DRAINAGE PLAN - SHEET 2	SW	4 of 7	C
SECTIONS	A	11 of 18	A	OSD SECTION AND STORMWATER DETAILS	SW	5 of 7	C
SHADOW DIAGRAMS - JUNE 21st 9am	A	12 of 18	A	STORMWATER DETAILS	SW	6 of 7	C
SHADOW DIAGRAMS - JUNE 21st 12pm	A	13 of 18	A	SEDIMENT CONTROL PLAN	SW	7 of 7	C
SHADOW DIAGRAMS - JUNE 21st 3pm	A	14 of 18	A	CUT AND FILL PLAN	C	1 of 1	C
VIEW FROM SUN DIAGRAMS	A	15 of 18	A	HYDRAULIC			
VIEW FROM SUN DIAGRAMS	A	16 of 18	A	LEGENDS & NOTES	Type	Sheet No.	Rev
PERSPECTIVES	A	17 of 18	A		H	1 of 4	D
PERSPECTIVES	A	18 of 18	A	SITE/GROUND FLOOR PLAN	H	2 of 4	D
				FIRST FLOOR PLAN	H	3 of 4	D
				ROOF PLAN	H	4 of 4	D
				LANDSCAPE			
				LANDSCAPE PLAN	Type	Sheet No.	Rev
					L	1 of 2	B
				LANDSCAPE PLAN	L	2 of 2	B

LOCATION PLAN:



0 5 10 20 40MM

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EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT.



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT.



EXISTING SPORTING COMPLEX.



PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING



EXISTING 2 STOREY BUILDING.

TYPICAL LOT DEVELOPMENT



EXISTING 2 STOREY BUILDING.



LEGEND: BLOCK PLAN

- PROPOSED DEVELOPMENT OWNED BY NSW LAND & HOUSING CORPORATION
- BOUNDARY LINE TO LOTS OWNED BY OTHERS

NOTE:
THERE IS NO TYPICAL LOT SIZE OR SHAPE IN THE VICINITY OF THE NEW DEVELOPMENT.



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068



REV	DATE	NOTATION/AMENDMENT
A	25/08/2023	DATE OF ISSUE
REV	DATE	NOTATION/AMENDMENT
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ARCHITECT	DTA Architects Pty Ltd PH (02) 9601 1011
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LANDSCAPE CONSULTANT	Ray Fuggle & Associated Pty Ltd PH (04) 12 294 712



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
BLOCK ANALYSIS PLAN

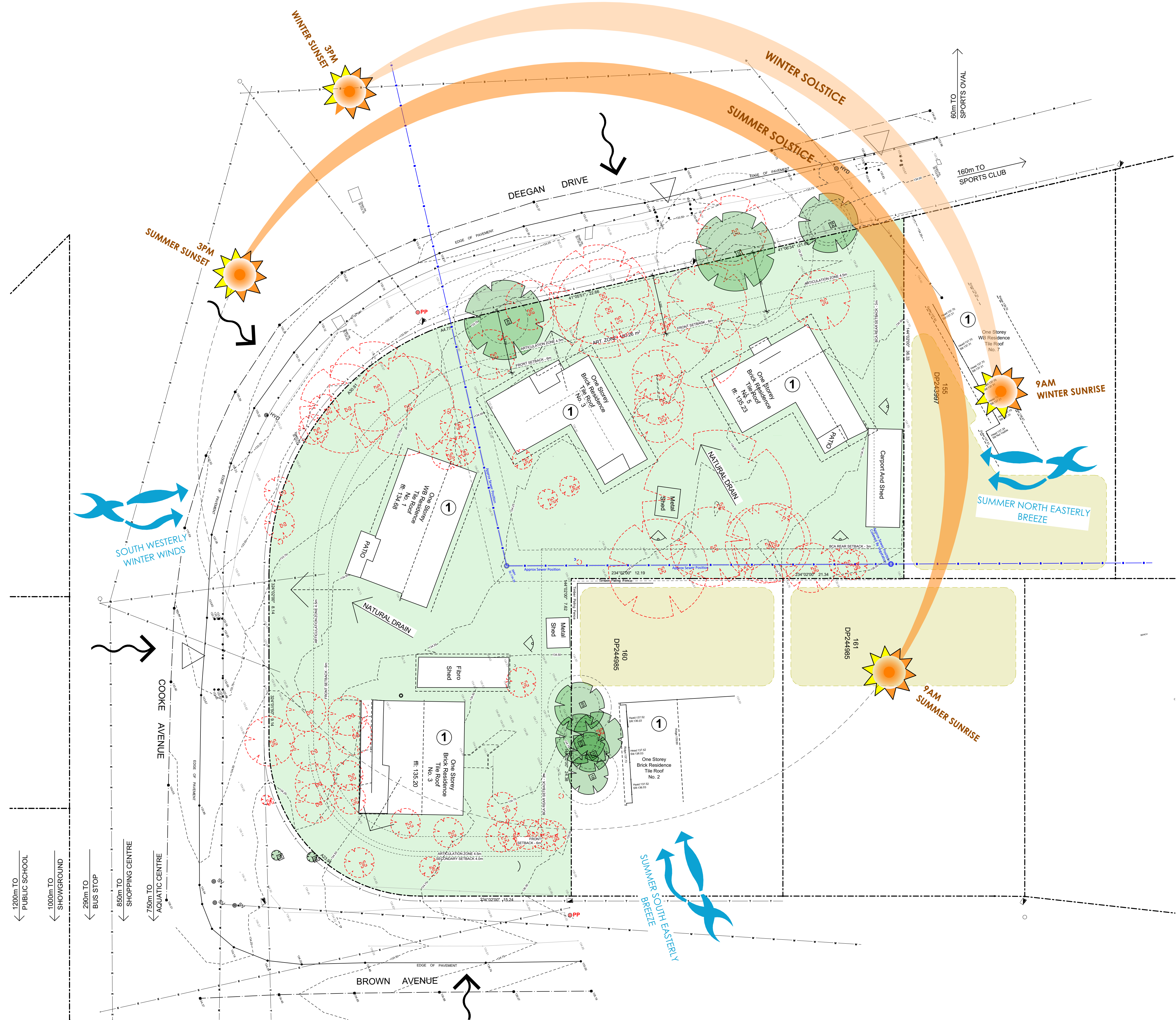
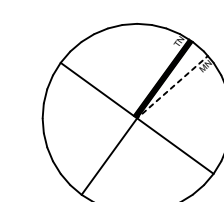
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Deegan Dr Alstonville\3 Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2.pptx

PLOTTED: 18/09/2023
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DATE	SCALE	PROJ	JOB
18/09/2023	As shown @ A1	BGZF9	2022.034
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C	SD	DD	DD
TYPE	SHEET	REV	
A	2 of 18	A	

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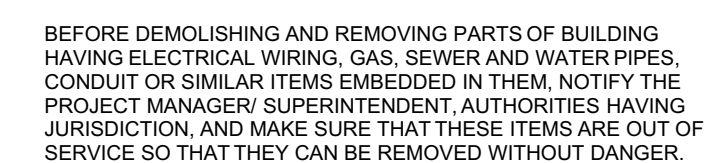


SITE ANALYSIS LEGEND

- BOUNDARY
- EXISTING BUILDINGS
- PROPOSED SITE
- NEIGHBOURING PRIVATE OPEN SPACE
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- OVERLOOKING
- EXISTING CONTOURS
- ACCESS TO SITE
- VIEWS
- NOISE SOURCE
- NUMBER OF STOREYS
- OVERHEAD POWERLINE
- UNDERGROUND SEWER

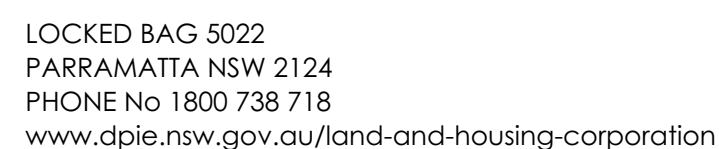
1

SITE ANALYSIS PLAN
1:200



1

-



				ARCHITECT
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				PROJECT MANAGER
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Land & Housing Corporation
NORTHERN NSW REGION

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SENIORS HOUSING DEVELOPMENT

at

**Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477**

TITLE: **DEMOLITION PLAN**

DEMOLITION PLAN

FILE: CAD File: S:\Data3\2022\2022.034.LAH
Deegan Dr Alstonville\3.Design\3.2 DA
\2022.034.LAHC.Cooke+Deegan, Alston

STATUS:	DEVELOPMENT APPLICATION
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DATE:	SCALE:	PROJ:	JOB:
18/09/2023	As shown @ A1	BGZF9	2022.034
STAGE:	DRAWN:	CHECKED:	CERTIFIER:
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TYPE:	SHEET:	REV:	
A	4 of 18	A	

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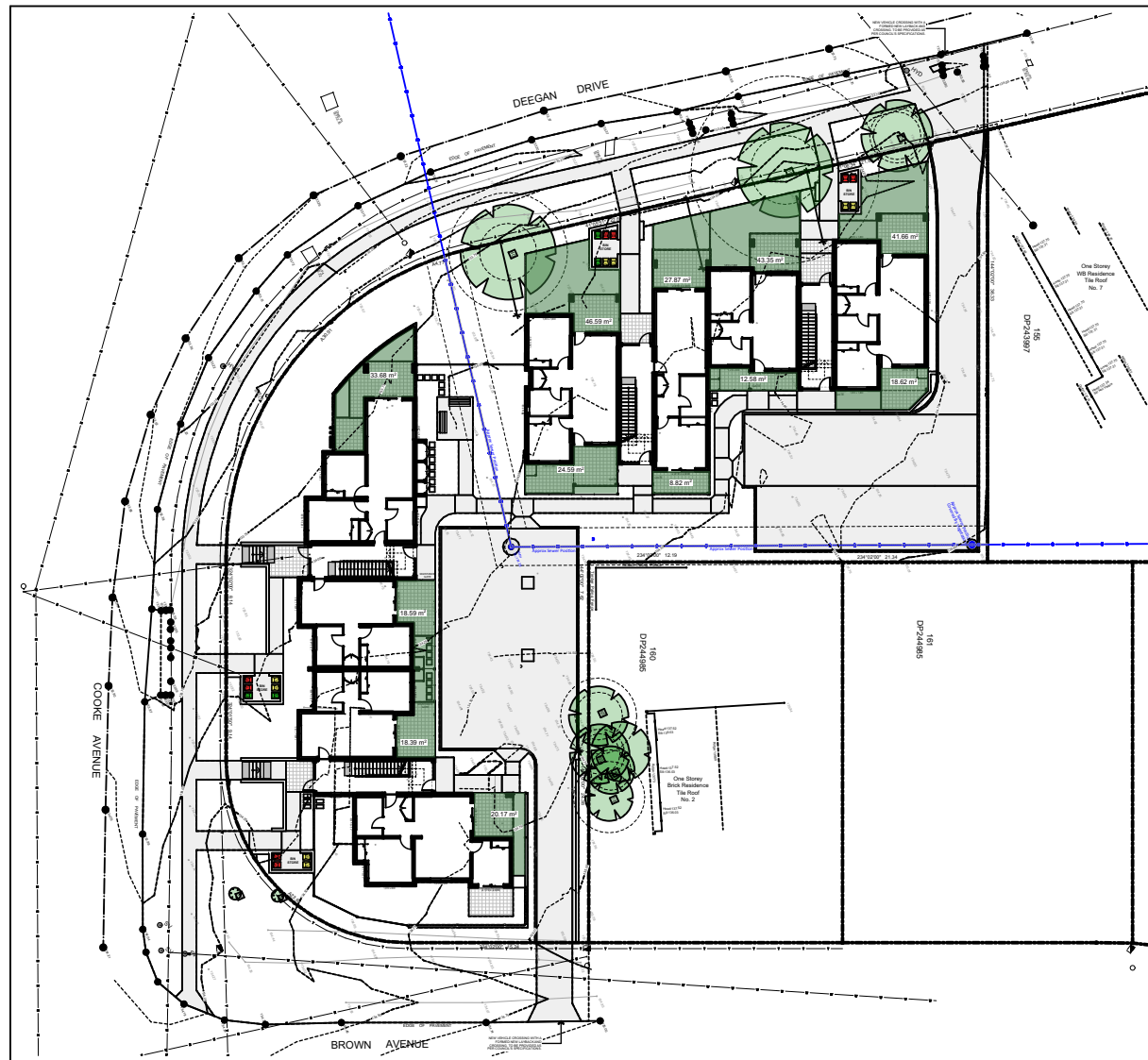
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- 1:600



2 DEVELOPMENT DATA- GF FSR (SEPP)
- 1:600



3 DEVELOPMENT DATA- GF POS
- 1:600



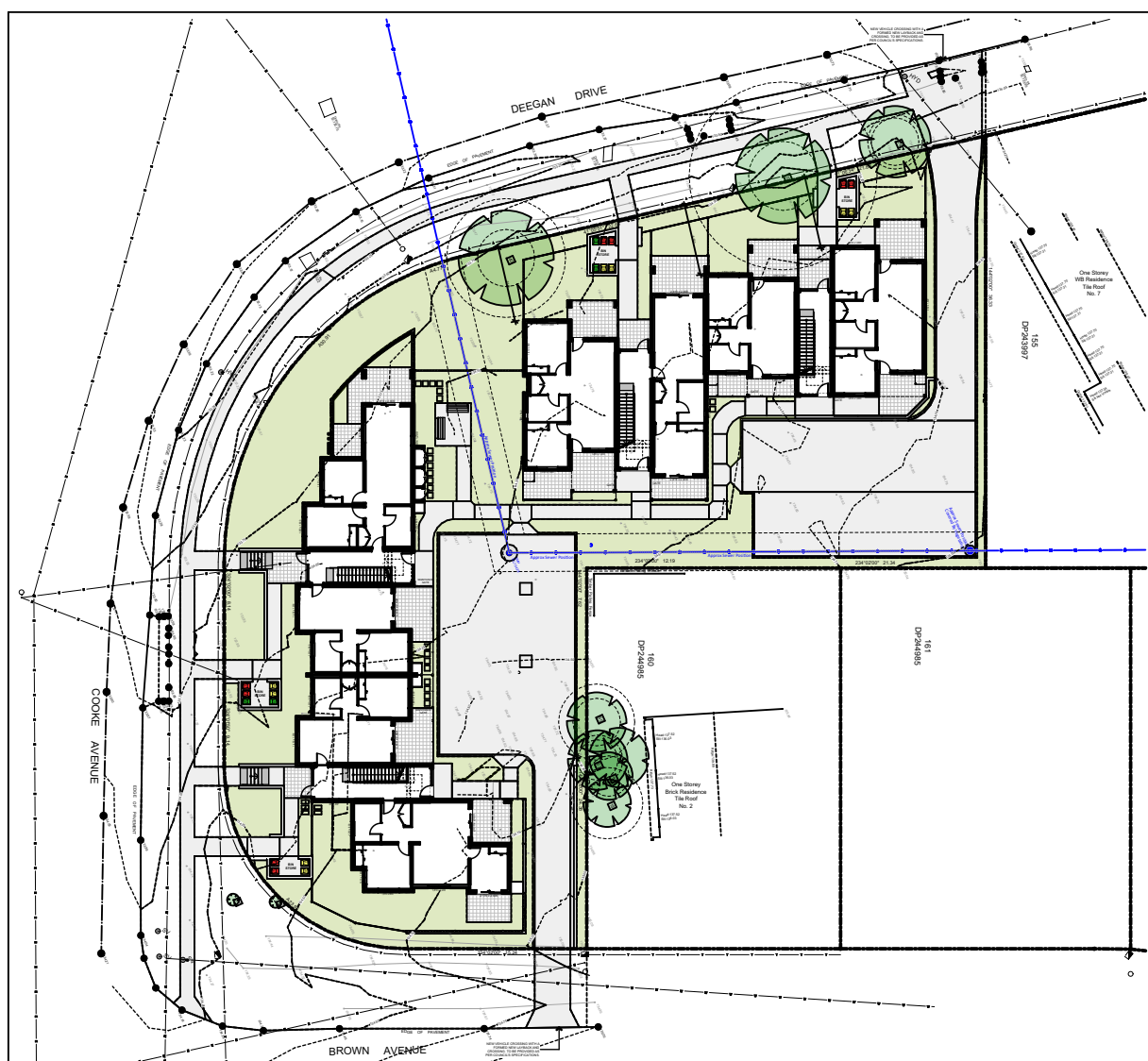
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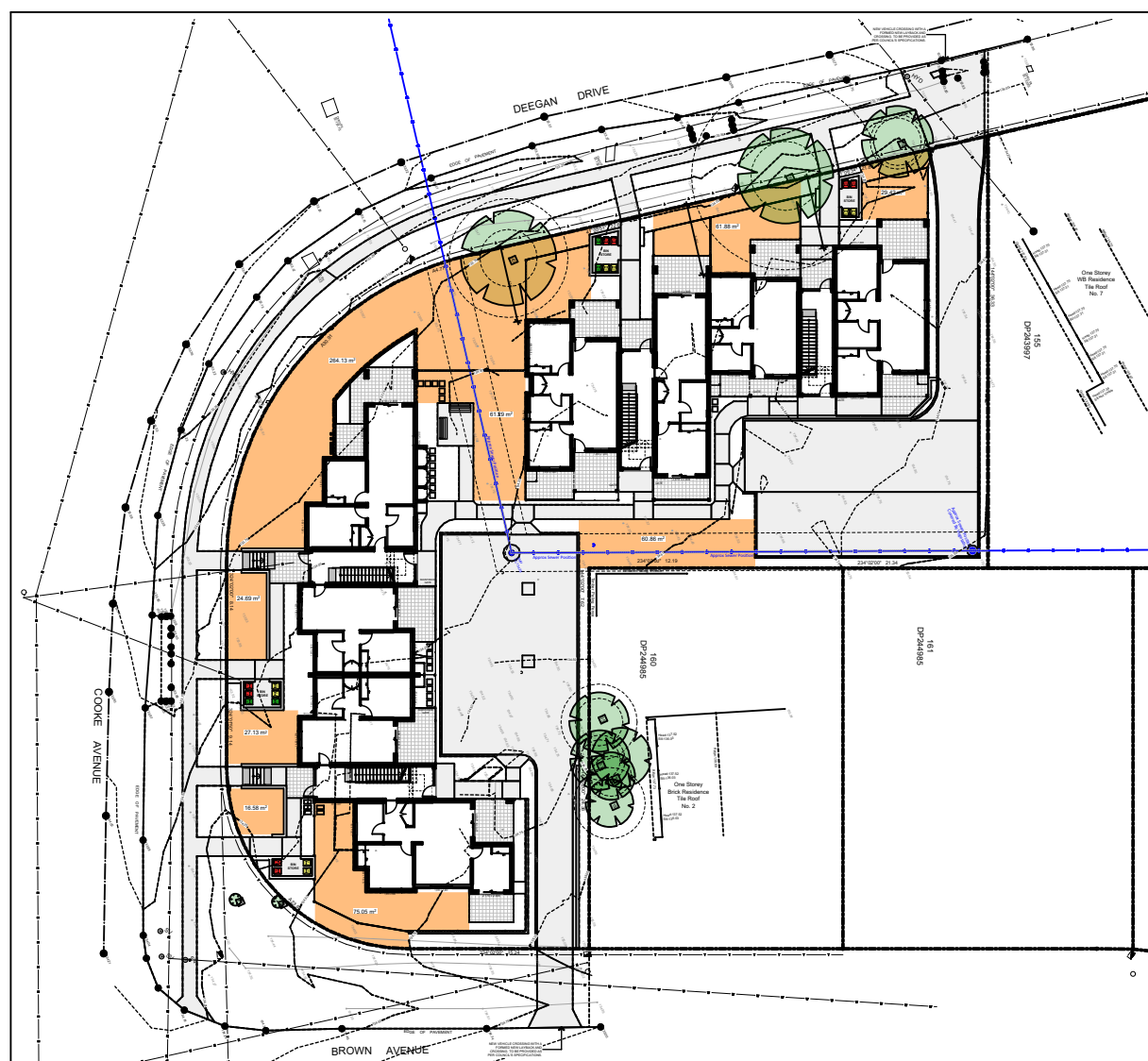
5 DEVELOPMENT DATA- FF FSR (SEPP)
- 1:600



6 DEVELOPMENT DATA- FF POS
- 1:600



7 DEVELOPMENT DATA- LANDSCAPE
- 1:600



8 DEVELOPMENT DATA- DEEP SOIL
- 1:600



9 DEVELOPMENT DATA- FF ART. ZONE
- 1:600

DEVELOPMENT DATA			
Site Area	2687.37m ²		
Number of existing lots	4		
Number of dwellings	16 units		
Dwellings	8 x 2bed + 8 x 1bed (50:50 ratio)		
	Number	Type	POS (m2)
	1	Ground	2 (SEPP Sch. 4)
	2	Ground	2 (SEPP Sch. 4)
	3	First	2
	4	First	1
	5	Ground	1 (SEPP Sch. 4)
	6	Ground	2 (SEPP Sch. 4)
	7	First	1
	8	First	2
	9	Ground	2 (SEPP Sch. 4)
	10	Ground	1 (SEPP Sch. 4)
	11	First	2
	12	First	1
	13	Ground	1 (SEPP Sch. 4)
	14	Ground	2 (SEPP Sch. 4)
	15	First	1
	16	First	2
Control		Requirement	Provided
Proposed FSR	HOUSING SEPP	0.5:1	1322.59m ² 0.49:1
	BALLINA LEP	n/a	1252.35m ² 0.46:1
Building Height	BALLINA LEP	8.5	8.2m
	HOUSING SEPP	9.5m	8.2m
Setbacks	BALLINA DCP	Front	Primary - 6m Secondary - 4m
		Side	45° plane from the boundary at 1.8m
		Rear	45° plane from the boundary at 1.8m
		Art. Zone	4.5m (structures <25% of art zone)
Car parking	LAHC (non-accessible area)	12(0.5/1bed ,1/2bed)	12
	HOUSING SEPP	4 (1/5 accessible)	
Landscaping	HOUSING SEPP	35m ² / unit (560m ²)	930.45m ²
		15% of site = 403.1m ²	621m ²
Deep Soil	HOUSING SEPP	preferably 65% deep soil to rear = 262m ²	122.15m ²
Solar Orientation	HOUSING SEPP	70% of dwellings to receive 2 hours of sunlight between 9am and 3pm mid winter	Living - 90% (15 units) POS - 90% (15 units)

STORAGE							
Dwelling Number	Pantry (600mm wide)	Drawer (min. 450mm wide)	Fridge Space (800mm - 1 bed) 900mm - 2 bed)	D/W provision (600mm wide)	Linen min. 600x450 mm wide	Broom min. 600x450 mm wide	Bedroom Bed 1 (1.8m x 0.6m) Bed 1 (1.5m x 0.6m)
1	✓	✓	✓	✓	✓	✓	✓
2	✓	✓	✓	✓	✓	✓	✓
3	✓	✓	✓	✓	✓	✓	✓
4	✓	✓	✓	✓	✓	✓	✓
5	✓	✓	✓	✓	✓	✓	✓
6	✓	✓	✓	✓	✓	✓	✓
7	✓	✓	✓	✓	✓	✓	✓
8	✓	✓	✓	✓	✓	✓	✓
9	✓	✓	✓	✓	✓	✓	✓
10	✓	✓	✓	✓	✓	✓	✓
11	✓	✓	✓	✓	✓	✓	✓
12	✓	✓	✓	✓	✓	✓	✓
13	✓	✓	✓	✓	✓	✓	✓
14	✓	✓	✓	✓	✓	✓	✓
15	✓	✓	✓	✓	✓	✓	✓
16	✓	✓	✓	✓	✓	✓	✓

NCC 2022 Minimum Thermal Performance Specification - 3.5 Deegan Drive Alstonville			
Wall Type	Insulation	External walls	
		Colour	Comments
Ceramic Brick	None	Med. SA 0.475 - 0.70	As per elevations
Ceramic Brick	R0.7	Med. SA 0.475 - 0.70	Unit 14 only
Metal Cladding	R0.5	Light. SA 0.475 - 0.70	As per elevations
Metal Cladding	R0.5	Med. SA 0.475 - 0.70	As per elevations
SA - Solar Absorbance			
Wall Type	Insulation	Internal walls	
		Colour	Comments
Single skin brick	None	None	Internally in units (Ground floor)
Plasterboard wall	None	None	Internally in units (First floor)
Ceramic brick	None	None	Shared walls between units/tenants/stairs
Floor Type	Insulation	Floors	
		Colour	Comments
Concrete slab on ground	None	None	Ground floor (Through-out)
Concrete	None	None	First floor (Units below)
Ceiling Type	Insulation	Ceilings	
		Colour	Comments
Plasterboard	None	None	Unit above
Plasterboard	None	None	As / roof above (First floor - Through-out)
Insulation loss due to downlights has not been included in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof Type	Insulation	Roof	
		Colour	Comments
R0.5 Insulated plasterboard	None	Light. SA 0.475 - 0.70	Units 5-8 (Unventilated cavity)
Metal	R0.5 Insulated plasterboard	Med. SA 0.475 - 0.70	Units 9-16 (Unventilated cavity)
SA - Solar Absorbance 0.32 (light) and 0.48 (medium)			
Glazing type	U-value	Glazing	
		SHGC	Comments
Double + Fixed (Through-out except below)	0.7	0.70	e.g. Single glazed clear Aluminium frame
Double + Fixed (Unit 11)	0.4	0.68	e.g. Single glazed high performing Low-e clear Aluminium frame
Awning + Glazed hinged doors (Through-out except below)	0.7	0.57	e.g. Single glazed clear Aluminium frame
Awning - Glazed hinged doors (Unit 13)	0.4	0.68	e.g. Single glazed high performing Low-e clear Aluminium frame
U and SHGC values are based on the APCC Default Windows. All Glazing systems to be installed must have an equal or lower U-value and a SHGC value = 10% of the above specified values.			
Shading Type	Frame Type	Shading	
		Colour	Comments
ro	ro	ro	ro
Size		Location	Comments
900mm		Living + Bedrooms	Through-out

BASIS REQUIREMENTS	
All Dwellings: <ul style="list-style-type: none">Showers to have a min rating of 4 stars (>4.5 but <=6.0 L/min)Toilet flushing system to have a min rating of 4 starsTaps for kitchens and bathrooms to have a min rating of 5 starsHot water units to be electric heat pump to ground floor units and solar electric boosted to first floor units.Provide electric cooktop and electric oven to all units	Common Areas: <ul style="list-style-type: none">Rainwater tank to be a min of 15,000 Litres and be of a central rain water tank, collecting a min of 800sqm of roof area.Landscape connection to all ground floor units and common landscape area.Solar panels to be provided with a min electrical output of 15 peak kW



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No. 9068

REV	DATE	DESCRIPTION
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BUSINESS PARTNER:



Land & Housing Corporation
NORTHERN NSW REGION

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SENIORS HOUSING DEVELOPMENT
at
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Alstonville NSW 2477

TITLE:
DEVELOPMENT DATA

FILE: CAD File: S:\Data\3\2022\2022 034 LAHC SL 3-5
Design: Dr. Adam Bell 3. Design: 2.2.24
2022 034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2 pin

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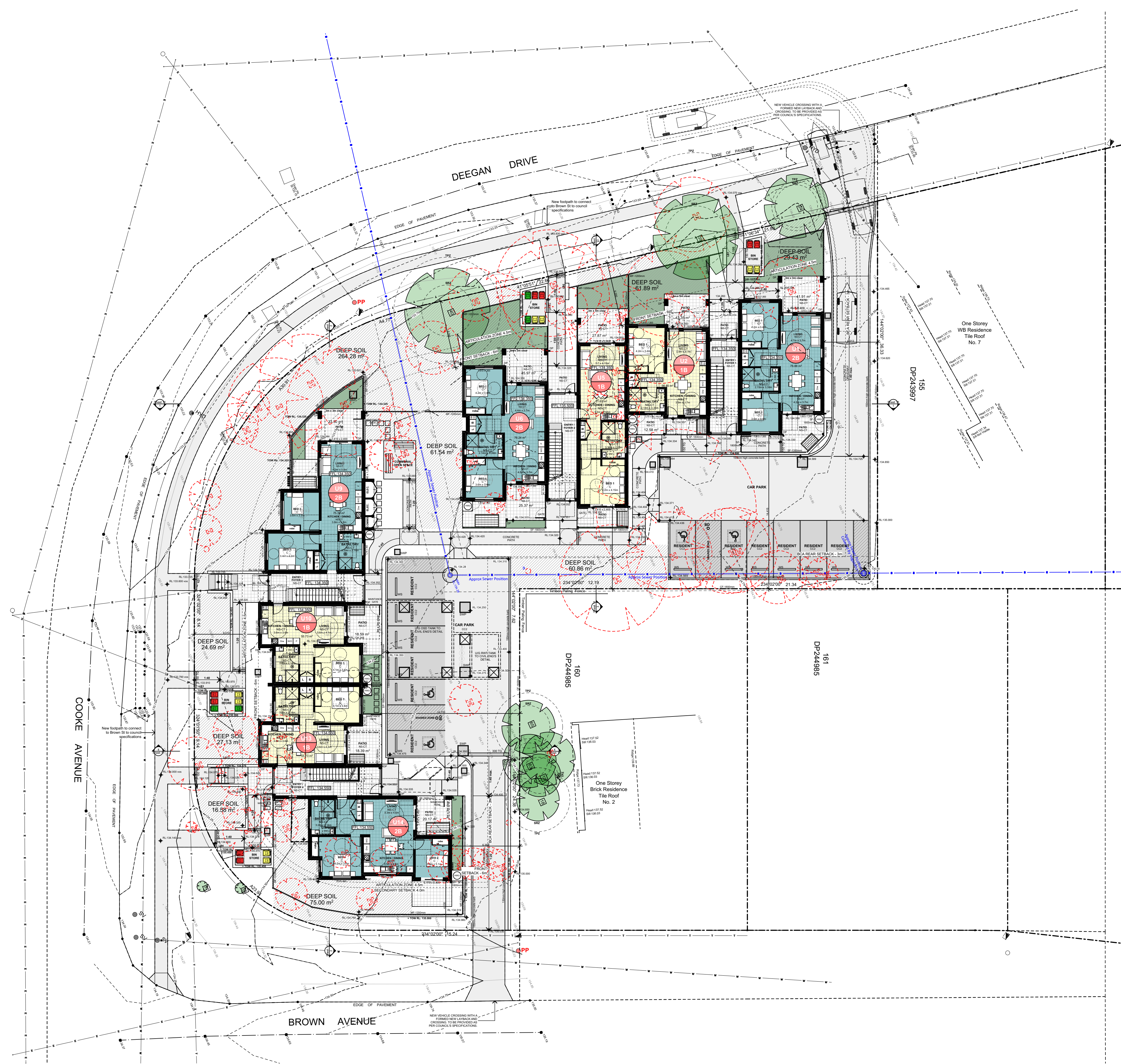
STATUS: DEVELOPMENT APPLICATION			
DATE: 18/09/2023	SCALE: As shown @ A1	PROJ: BGZF9	JOB: 2022.034
STAGE: C	DRAWN: SD	CHECKED: DD	CERTIFIER: DD
TYPE: C	SHEET: A	REV: 5 of 18	REV: A

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LEGEND - PLAN

- External Walls & Party Walls
Nom. 270mm thick cavity brick wall, finish as specified
- Ground Floor Internal Walls
Nom. 110mm masonry wall, c/w 13mm plasterboard / FC lining both sides, set ready for selected paint finish.
- First Floor Internal Walls
Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides, set ready for selected paint finish.
- Non-slip ceramic floor tiles. Refer to finishes schedule
- Carpet / vinyl floor finish. Refer to finishes schedule
- Proposed levels. Refer also to drainage drawing.

LEGEND

- AB ARMCO BARRIER
- ABH ARMCO BARRIER WITH HANDRAIL
- ANG CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
- ANG-1 CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
- B STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
- B-1 VANITY BASIN
- B-2 WALL HUNG BASIN - DISABLE COMPLIANT
- B-3 WALL HUNG BASIN
- BC BATTERY CHARGE
- BF BACK FLASHING
- BFC BROOM FINISHED CONCRETE
- C CARPET AS SPECIFIED
- CAP CEILING ACCESS PANEL
- CF COLORBOND FENCE
- CH CLOTHES HOOK
- CR CEMENT RENDERED FINISH
- CS CLEANERS SHELF
- CT CERAMIC TILES
- CW COMPLETE WITH
- DB ELECTRICAL DISTRIBUTION BOARD
- DP DOWNPIPE - COLORBOND
- DPS DOWNPIPE & SPRINGER - COLORBOND
- DT DOOR THRESHOLD REFER TO DETAIL
- DW DISHWASHER AS SPEC
- EAC EXPOSED AGGREGATE CONCRETE
- EDB ELECT. DISTRIBUTION BOARD, REFER TO ELECT. DOCUMENTS
- EF EXHAUST FAN
- EG EAVES GUTTER
- EW EYE WASH
- F FRIDGE AS SPEC.
- FG FIXED GLASS
- FHR FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
- FIP FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
- FM RECESSED FLOOR MAT
- FW FLOOR WASTE
- GD GRATED DRAIN
- GPO-S SINGLE GENERAL PURPOSE OUTLET
- GPO-D DOUBLE GENERAL PURPOSE OUTLET
- GRB GRAB RAIL
- GR GRAB RAIL
- HD HAND DRYER
- HTH HEATED THRESHOLD
- HWU HOT WATER UNIT
- HYD HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
- LC LAMINATED BENCH TOP & CUPBOARDS
- LK LOCKERS
- M1 MIRROR
- MSB ELECTRICAL MAIN SWITCH BOARD
- MW MICROWAVE OVEN AS SPEC.
- MF METAL FENCE
- NS-CT NON-SLIP CERAMIC TILE
- OF OVERFLOW
- PB PLASTERBOARD LINING
- PTD PAPER TOWEL DISPENSER
- RH RANGE HOOD
- RM RECESSED ENTRY MAT
- SCR SHOWER CURTAIN RAIL
- SC COLUMN TO STRUCTURAL ENGINEERS DETAILS
- SD SOAP DISPENSER
- SF SLAT FENCE
- SH SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
- SK STAINLESS STEEL SINK
- SK-2 CLEANER SINK
- SMP BOX GUTTER SUMP & OVERFLOW
- STP STEEL TROWEL FINISHED CONCRETE
- TGSI TACTILE INDICATOR
- TG TRENCH / GRATED DRAIN
- TH THRESHOLD RAMP
- TF TIMBER FLOORING
- TP TOILET PARTITIONS
- TPH TOILET PAPER HOLDER
- TRS TRANSLUCENT ROOF SHEETING
- TS-1 TAP SET - WASHROOMS
- TS-2 TAP SET - DISABLE COMPLIANT
- TS-3 TAP SET - KITCHEN
- TS-4 TAP SET - CLEANERS
- US MOP & BROOM SHELF
- V VINYL
- VP VENT PIPE
- VTY REFER TO HYDRAULIC DOCUMENTS
- WB VANITY UNIT
- WB WORK BENCH
- WC-1 TOILET PAN / SUITE
- WC-2 TOILET PAN / SUITE DISABLE COMPLIANT
- WC-3 TOILET PAN / SUITE AMBULANT
- WG WHEEL GUIDE
- WT WASH TROUGH
- WU-1 WALL HUNG URINAL
- WS WHEEL STOP
- XP EPOXY FLOORING

SITE LEGEND

- 1 BED
- 2 BED
- PRIVATE OPEN SPACE (POS)
- LANDSCAPE AREA
- DRIVEWAY, FOOT PATH & PAVED AREA
- DEEP SOIL ZONE
- CERAMIC TILE (NS-CT)
- BRICK RETAINING WALL
- EX.TREES TO BE RETAINED
- EX. TREES TO BE REMOVED
- OVERHEAD POWERLINE
- UNDERGROUND SEWER
- EXISTING SITE LEVEL
- PROPOSED SITE LEVELS

SITE & GROUND FLOOR PLAN

1:200



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Land & Housing Corporation
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PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE
SITE & GROUND FLOOR PLAN

FILE: CAD File: S:\Dms3\2022\2022-034 LAHC SL 3-5
DESIGN: Dr. Alstonville Design
2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2.ppt
PLOT: 18/09/2023
3:55 PM

STAGE	DATE	SCALE	PROJ.	JOB
C	18/09/2023	As shown @ A1	BGZF9	2022.034
D			DD	DD
TYPE	SHEET			REV:
A	6 of 18			A

0 5 10 20 40MM

SCALE FOR PRINTING

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LEGEND - PLAN

- External Walls & Party Walls**
Nom. 270mm thick cavity brick wall, finish as specified
- Ground Floor Internal Walls**
Nom. 110mm masonry wall, c/w 13mm plasterboard / FC lining both sides, set ready for selected paint finish.
- First Floor Internal Walls**
Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides, set ready for selected paint finish.
- Non-slip ceramic floor tiles.** Refer to finishes schedule
- Carpet / vinyl floor finish.** Refer to finishes schedule

FFL 9.100 Proposed levels. Refer also to drainage drawing.

LEGEND

- AB ARMO BARRIER
ABH ARMO BARRIER WITH HANDRAIL
ANG CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
ANG-1 CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
- B STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
- B-1 VANITY BASIN
B-2 WALL HUNG BASIN - DISABLE COMPLIANT
B-3 WALL HUNG BASIN
BC BATTERY CHARGE
BF BACK FLASHING
BFC BROOM FINISHED CONCRETE
C CARPET AS SPECIFIED
CAP CEILING ACCESS PANEL
CF COLORBOND FENCE
CH CLOTHES HOOK
CR CEMENT RENDERED FINISH
CS CLEANERS SHELF
CT CERAMIC TILES
C/W COMPLETE WITH
DB ELECTRICAL DISTRIBUTION BOARD
DP DOWNPIPE - COLORBOND
DPS DOWNPIPE & SPREADER - COLORBOND
DT DOOR THRESHOLD REFER TO DETAIL
DW DISHWASHER AS SPEC
EAC EXPOSED AGGREGATE CONCRETE
EDB ELECT. DISTRIBUTION BOARD, REFER TO ELECT. DOCUMENTS
- EF EXHAUST FAN
EG EAVES GUTTER
EW EYE WASH
F FRIDGE AS SPEC.
FG FIXED GLASS
FHR FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
FIR FIRE INDICATOR PANEL (LOCATED MAIN ENTRY)
FM RECESSED FLOOR MAT
FW FLOOR WASTE
GD GRATED DRAIN
GPO-S SINGLE GENERAL PURPOSE OUTLET
GPO-D DOUBLE GENERAL PURPOSE OUTLET
GPB GOAL POST BOLLARDS
GR GRAB RAIL
HD HAND DRYER
HTH HEATED THRESHOLD
HWU HOT WATER UNIT
HYD HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
LC LAMINATED BENCH TOP & CUPBOARDS
LK LOCKERS
M MIRROR
MSB ELECTRICAL MAIN SWITCH BOARD
MW MICROWAVE OVEN AS SPEC.
MF METAL FENCE
NS-CT NON-SLIP CERAMIC TILE
OF OVERFLOW
PB PLASTERBOARD LINING
PTD PAPER TOWEL DISPENSER
RH RANGE HOOD
RM RECESSED ENTRY MAT
SCR SHOWER CURTAIN RAIL
SC COLUMN TO STRUCTURAL ENGINEERS DETAILS
SD SOAP DISPENSER
SF SLAT FENCE
SH WALL SHELF
SK SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
SK-1 STAINLESS STEEL SINK
SK-2 CLEANER SINK
SMP BOX GUTTER SUMP & OVERFLOW
STF STEEL TROWEL FINISHED CONCRETE
TGI TACTILE INDICATOR
TG TRENCH / GRATED DRAIN
TH THRESHOLD RAMP
TM TIMBER FLOORING
TP TOILET PARTITIONS
TPH TOILET PAPER HOLDER
TRS TRANSLUCENT ROOF SHEETING
TS-1 TAP SET - WASHROOMS
TS-2 TAP SET - DISABLE COMPLIANT
TS-3 TAP SET - KITCHEN
TS-4 TAP SET - CLEANERS
US MOP & BROOM SHELF
V VINYL
VP VENT PIPE REFER TO HYDRAULIC DOCUMENTS
VTY VANITY UNIT
WB WORK BENCH
WC-1 TOILET PAN / SUITE
WC-2 TOILET PAN / SUITE DISABLE COMPLIANT
WC-3 TOILET PAN / SUITE AMBULANT
WG WHEEL GUIDE
WT WASH TROUGH



FIRST FLOOR PLAN
1:200



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Member
Architects Institute of Australia

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A	25/08/2023	DA ISSUE
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NORTHERN NSW REGION

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TITLE:
FIRST FLOOR PLAN

FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL-3-5
Design Dr Alstonville\3 Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2.pn

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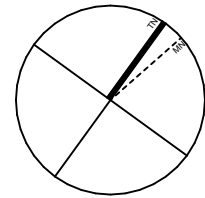
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STAGE	DRAWN	CHECKED	CERTIFIER
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TYPE	SHEET	REV:	
A	7 of 18	A	

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1

ROOF PLAN

1:200



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BUSINESS PARTNER:



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ROOF PLAN

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1\2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2.pln

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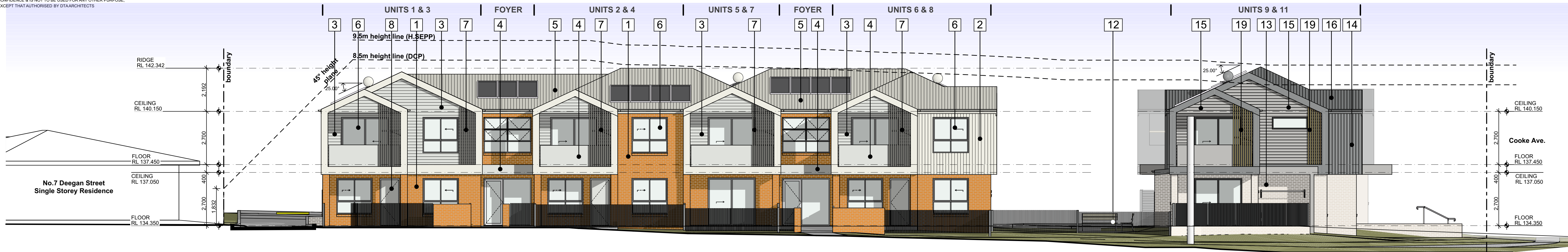
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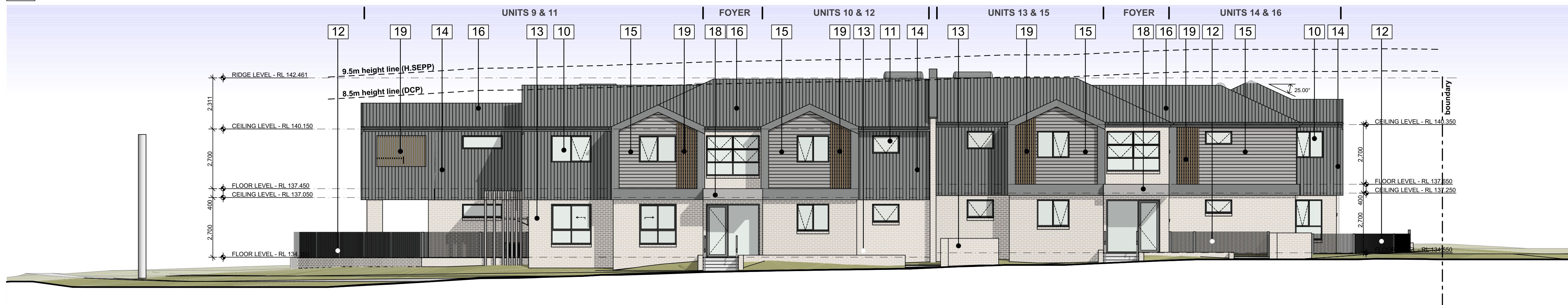
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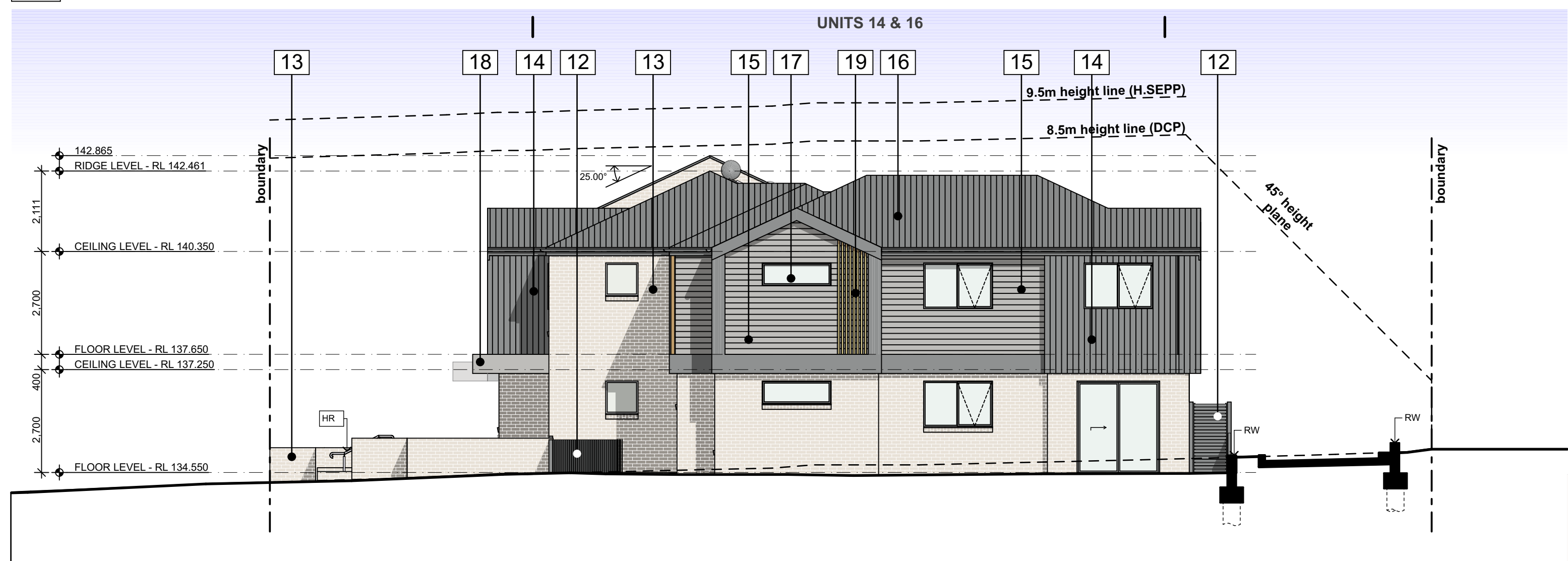
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NORTH ELEVATION
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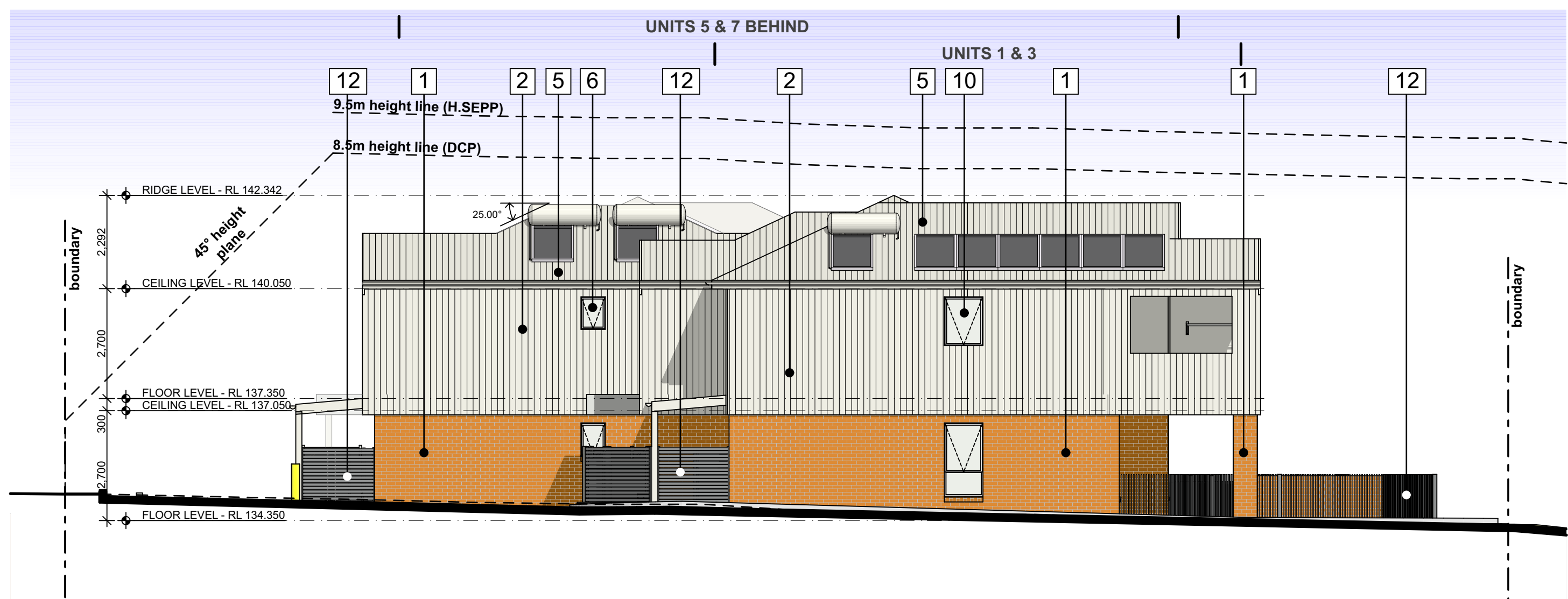
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WEST ELEVATION
1:100



3
-

SOUTH ELEVATION
1:100



4
-

EAST ELEVATION
1:100



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TITLE:
ELEVATIONS

FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL-3-5
Design: D:\Alstonville\3 Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
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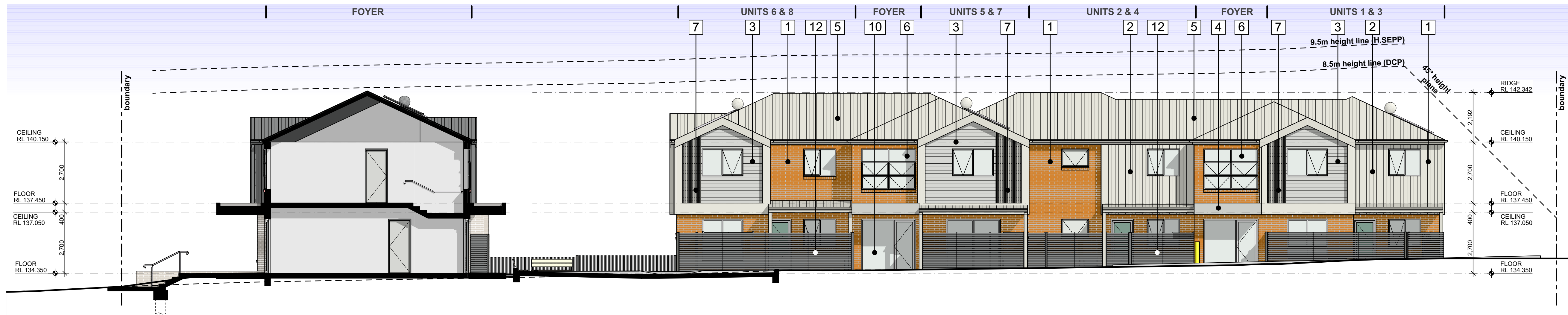
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DATE	SCALE	PROJ	JOB
18/09/2023	As shown @ A1	BGZF9	2022.034
STAGE	DRAWN	CHECKED	CERTIFIER
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A	9 of 18	A	

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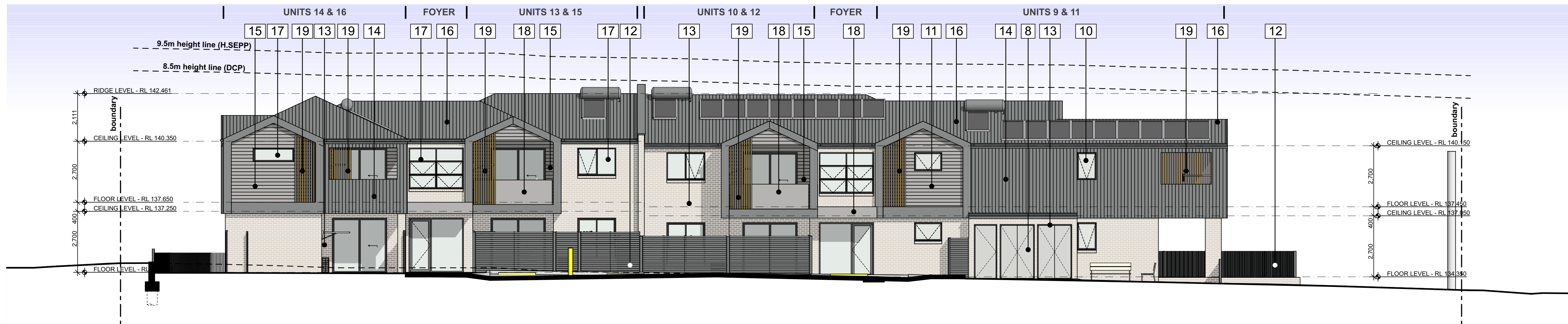
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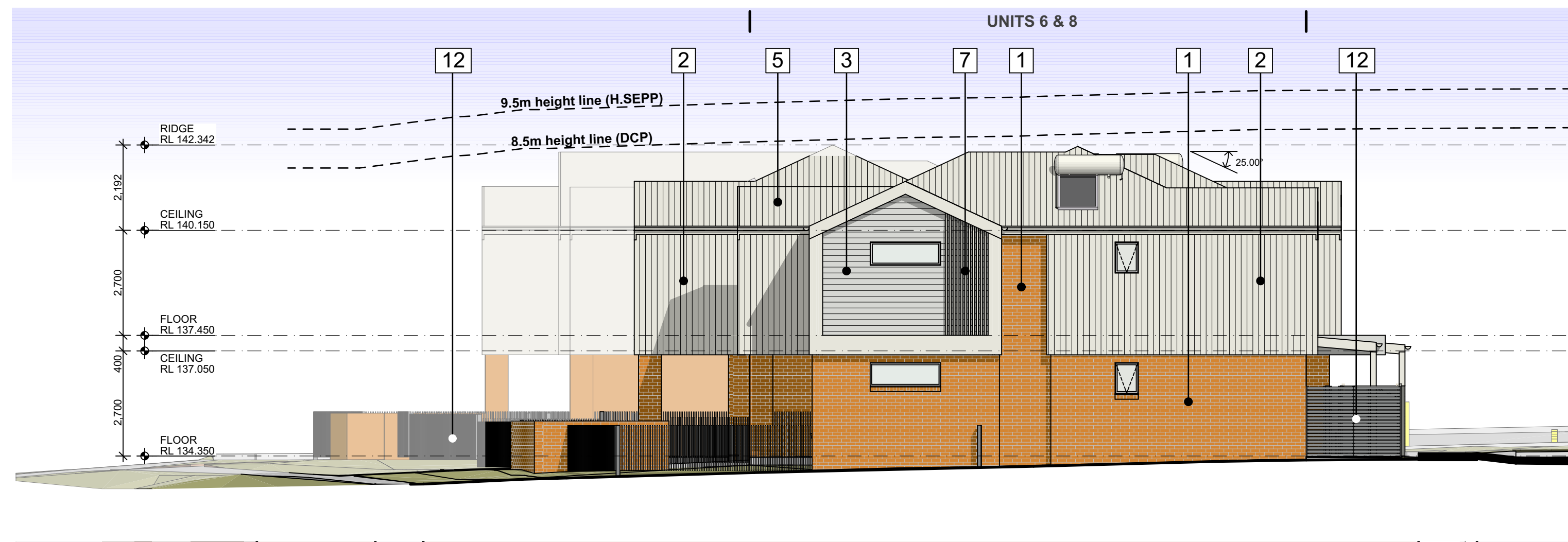
SOUTH INTERNAL ELEVATION

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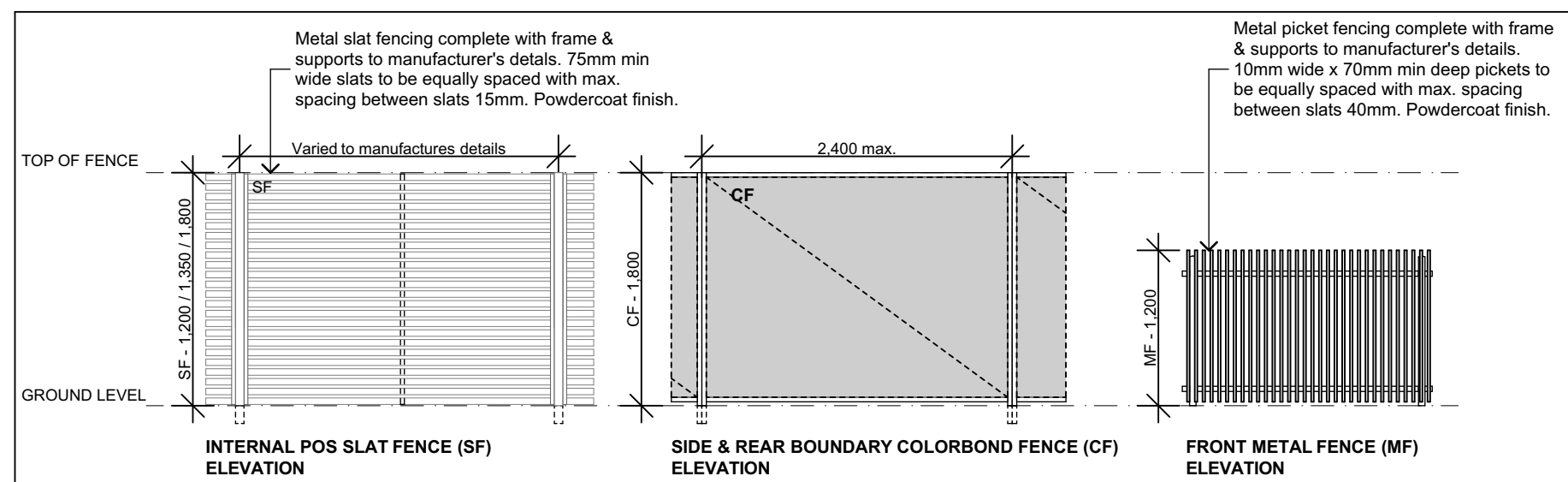
EAST INTERNAL ELEVATION

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WEST INTERNAL ELEVATION

1:100



FENCE DETAILS

1:50

EXTERNAL FINISHES SCHEDULE

1	WALL (FBK1) - Face Brick Type 1 PGH: Range -Foundations, Name - Pilbara
2	WALL CLADDING (MC1) - Metal Wall Cladding Longline, Colour - Surfist Matt
3	WALL CLADDING (MC2) - Metal Wall Cladding Ultraclad, Shadoline, Colour - Shale Grey
4	PAINT FINISH CONCRETE Balcony & Awning concrete edges, all exposed concrete edges. Paint Finish. Colour: Dulux Shale Grey
5	ROOF CLADDING (SMR1) - Metal Roof Cladding Longline, Colour - Surfist Matt
6	WINDOW / DOOR FRAMES Aluminium Powdercoat - Surfist
7	BATTEN PRIVACY SCREEN (PS1) Decobatten - Aluminium Colour - Colorbond Surfist 'Matt'
8	EXTERNAL DOOR Colour - Dulux Shale Grey
9	SOFFIT Eaves, Balcony & Awnings Paint Finish. Colour: Dulux Vivid White
10	GLASS Type - Clear
11	GLASS Type - Obscure
12	COLORBOND BOUNDARY FENCE (CF - 1.8m HIGH) COURTYARD FENCE (SF - 1.8m HIGH) FRONT METAL FENCE (MF - 1.2m HIGH) Aluminium Powdercoat - Basalt
13	WALL (FBK2) - Face Brick Type 2 PGH: Range -Velvet, Name - Crushed Grey
14	WALL CLADDING (MC6) - Metal Wall Cladding Longline, Colour - Basalt Matt
15	WALL CLADDING (MC4) - Metal Wall Cladding Ultraclad, Shadoline, Colour - Stone Grey
16	ROOF CLADDING (SMR2) - Metal Roof Cladding Longline, Colour - Basalt Matt
17	WINDOW / DOOR FRAMES Aluminium Powdercoat - Basalt
18	PAINT FINISH CONCRETE Balcony & Awning concrete edges, all exposed concrete edges. Paint Finish. Colour: Dulux Stepney
19	BATTEN PRIVACY SCREEN (PS2) Decobatten - Aluminium Colour - Timber Finish



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TITLES

ELEVATIONS

FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL 3-5
Design: Dr. Alstonville\3. Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
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10 of 18

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ALL ROOFS TO BE SELECTED COLORBOND METAL ROOF SHEETING
FIXED ON TIMBER FRAME C/W SELECTED COLORBOND RIDGE
CAPPINGS AND BARGES AS REQUIRED. TIMBER FRAME TO
MANUFACTURER'S DETAILS. PROVIDE FOIL AND R1 BATTS TO ALL
ROOFS AND MIN. INSULATION TO ALL CEILINGS AS REQUIRED BY ABSA.

UNITS 1 & 3

UNITS 2 & 4

UNITS 5 & 7

UNITS 6 & 8

UNITS 9 & 11

9.5m height line (H.SEPP)

8.5m height line

45° height plane

RIDGE LEVEL - RL 141.440

CEILING LEVEL - RL 140.050

FLOOR LEVEL - RL 137.350

CEILING LEVEL - RL 137.050

FLOOR LEVEL - RL 134.350

CEILING LEVEL - RL 137.050

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FLOOR LEVEL - RL 134.350

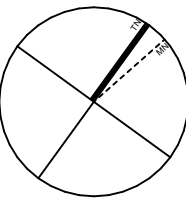
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SCALE FOR PRINTING

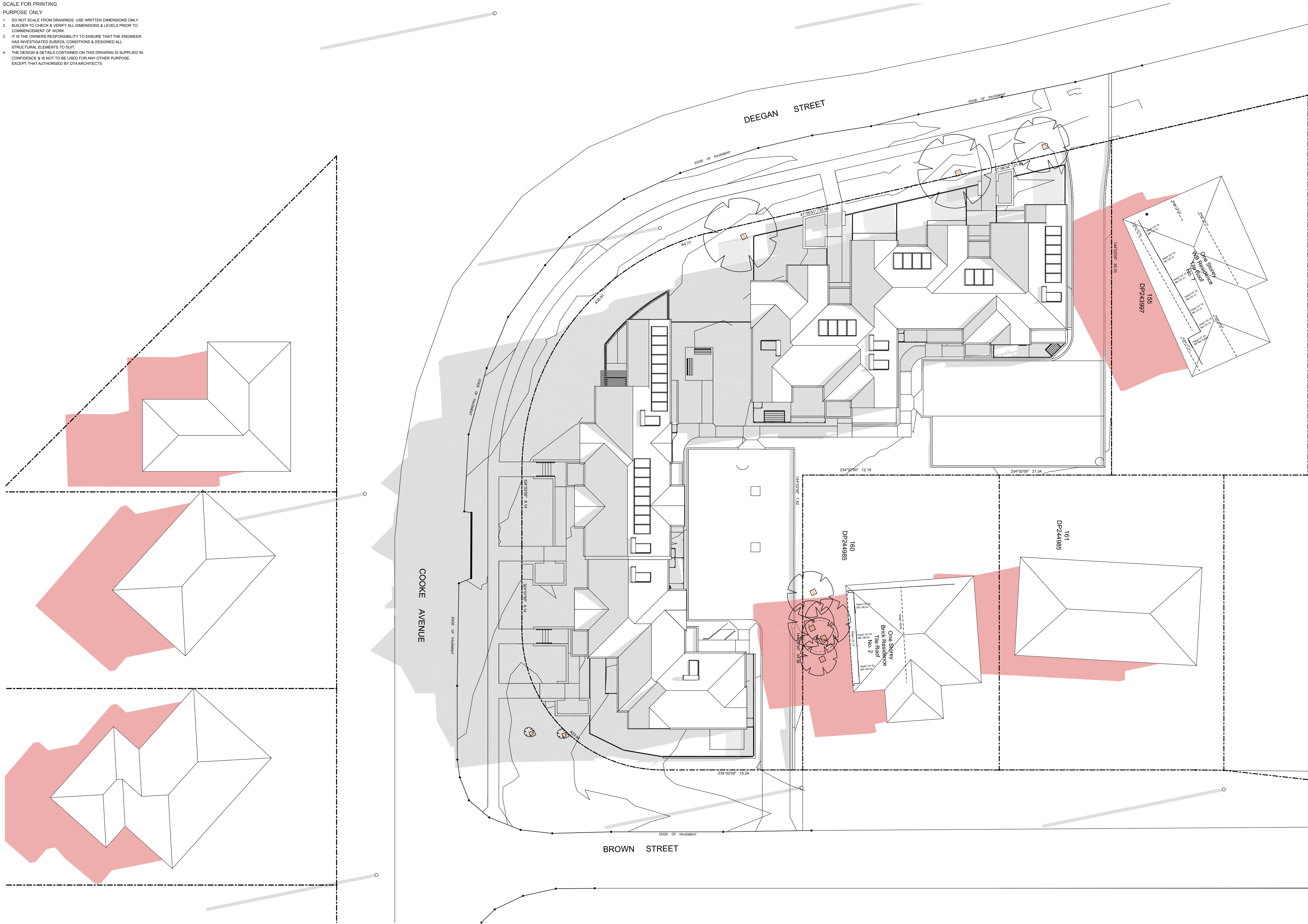
PURPOSE ONLY

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LEGEND

- Grey area indicates shadows cast by proposed development
- Red area indicates existing shadows cast by neighbouring properties



1
-

SHADOW DIAGRAM - 21st JUNE 9am
1:200



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PARRAMATTA NSW 2124
PHONE No 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation



NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Member
Architects Institute of Australia

REV	DATE	NOTATION/AMENDMENT
A	25/08/2023	DATE ISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
DTA Architects Pty Ltd
PH (02) 9601 1011
PROJECT MANAGER
LAND & HOUSING CORPORATION
PH (02) 8544 1683
STRUCTURAL / CIVIL
MSL Consulting Engineers Pty Ltd
PH (02) 4226 5247

HYDRAULIC
Abel & Brown Pty Ltd
PH (02) 9709 5706
ELECTRICAL / BASIX CONSULTANT
Greenview Consulting Pty Ltd
PH (02) 8544 1683
LANDSCAPE CONSULTANT
Ray Fuggle & Associated Pty Ltd
PH (04) 224 712

BUSINESS PARTNER:



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
SHADOW DIAGRAMS - JUNE 21st 9am
FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL 3-5
Design Dr Alstonville\3 Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2 pin

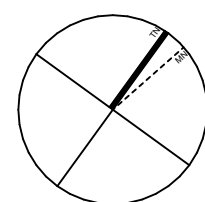
STATUS: DEVELOPMENT APPLICATION			
DATE 18/09/2023	SCALE As shown @ A1	PROJ BGZF9	JOB 2022.034
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 12 of 18	REV: A	

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SCALE FOR PRINTING

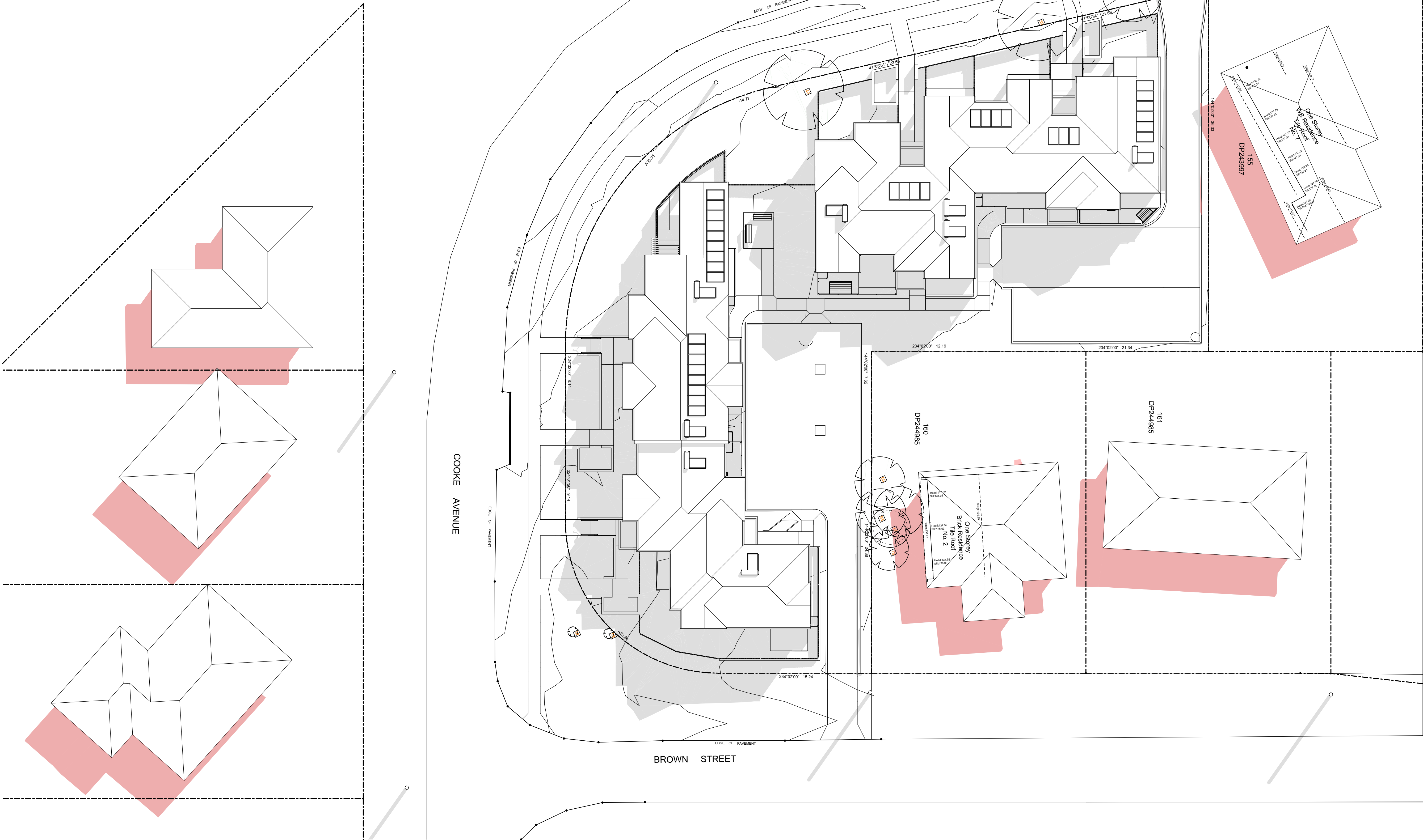
PURPOSE ONLY

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LEGEND

- Grey area indicates shadows cast by proposed development
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1
-

SHADOW DIAGRAM - 21st JUNE 12pm
1:200



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Member
Architects Institute of Australia

REV	DATE	NOTATION/AMENDMENT
A	25/08/2023	DAISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
DTA Architects Pty Ltd
PH (02) 9691 1011
PROJECT MANAGER
LAND & HOUSING CORPORATION
PH 1800 738 718
STRUCTURAL / CIVIL
MSL Consulting Engineers Pty Ltd
PH (02) 4228 5247

HYDRAULIC
Abel & Brown Pty Ltd
PH (02) 9709 5705
ELECTRICAL / BASIX CONSULTANT
Greenview Consulting Pty Ltd
PH (02) 8544 1683
LANDSCAPE CONSULTANT
Ray Fuggle & Associated Pty Ltd
PH 0412 294 712



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
SHADOW DIAGRAMS - JUNE 21st 12pm
FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL 3-5 Design Dr Alstonville\3 Design\3.2 DA 2022-034 LAHC Cooke+Deegan, Alstonville - DA01 revised 16-5-23 - 2.pln
PLOTTED: 18/09/2023 3:57 PM

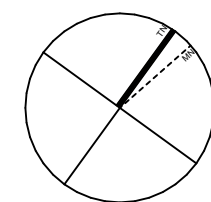
STATUS: DEVELOPMENT APPLICATION			
DATE 18/09/2023	SCALE As shown @ A1	PROJ BGZF9	JOB 2022.034
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 13 of 18	REV: A	

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SCALE FOR PRINTING

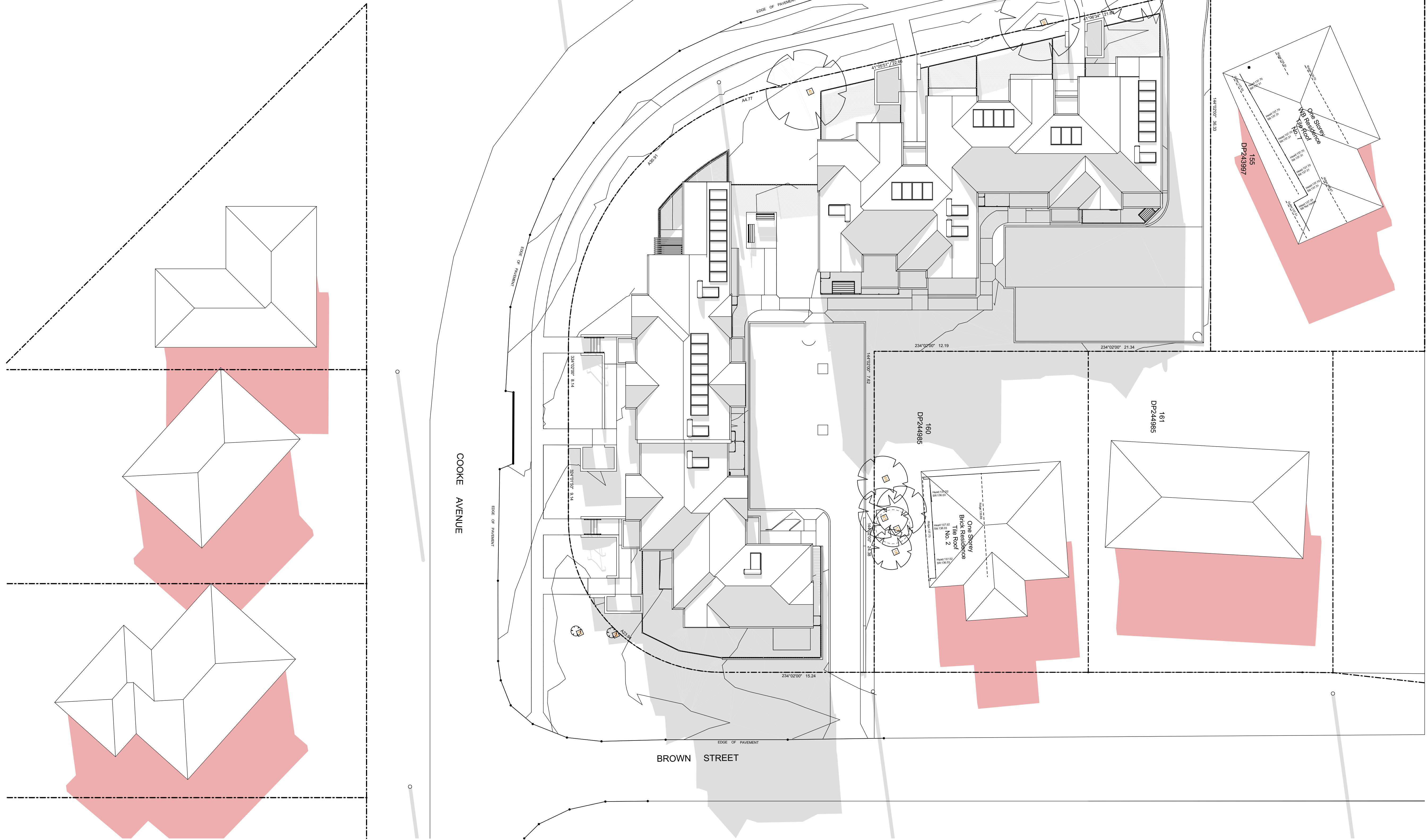
PURPOSE ONLY

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LEGEND

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- Red area indicates existing shadows cast by neighbouring properties



SHADOW DIAGRAM - 21st JUNE 3pm
1:200

1
-



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Member
Architects Institute of Australia

REV	DATE	NOTATION/AMENDMENT
A	25/08/2023	DAISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
DTA Architects Pty Ltd
PH (02) 9601 1011
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PH (02) 9709 5706
ELECTRICAL / BASIX CONSULTANT
Greenview Consulting Pty Ltd
PH (02) 8544 1683
LANDSCAPE CONSULTANT
Ray Fuggle & Associated Pty Ltd
PH 0412 204 712

BUSINESS PARTNER:



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
SHADOW DIAGRAMS - JUNE 21st 3pm
FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL 3-5
Design Dr Alstonville\3 Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2.pptx

STATUS: DEVELOPMENT APPLICATION			
DATE 18/09/2023	SCALE As shown @ A1	PROJ BGZF9	JOB 2022.034
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 14 of 18	REV: A	

05102040MM

SCALE FOR PRINTING

PURPOSE ONLY

1.

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3.

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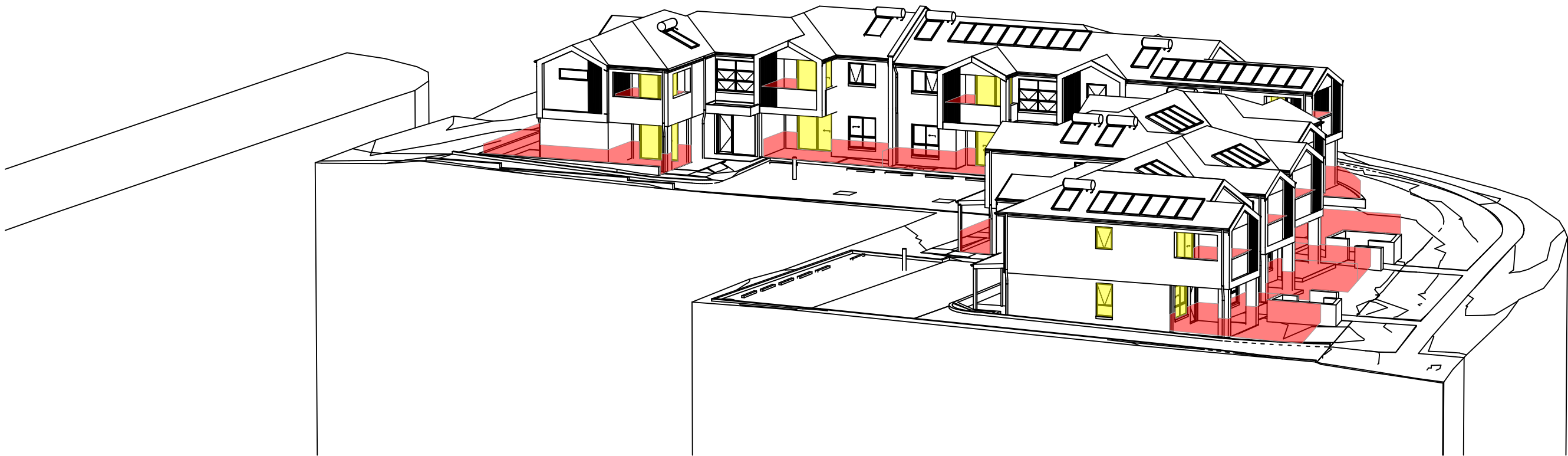
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THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY DTAARCHITECTS



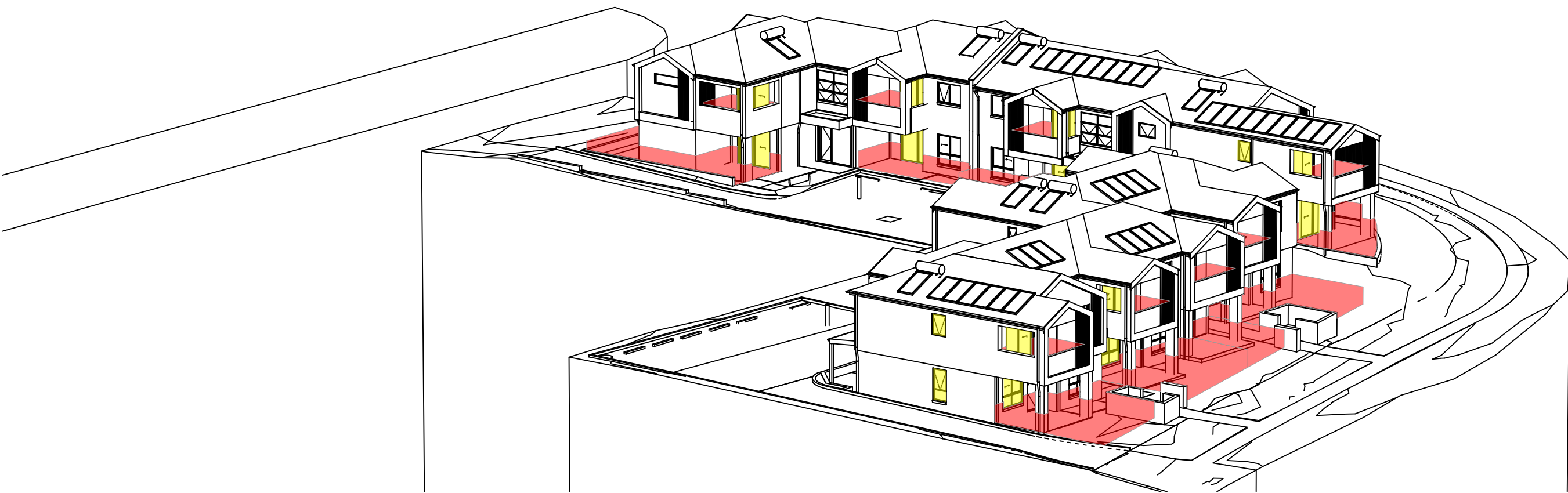
21st JUNE - 9am

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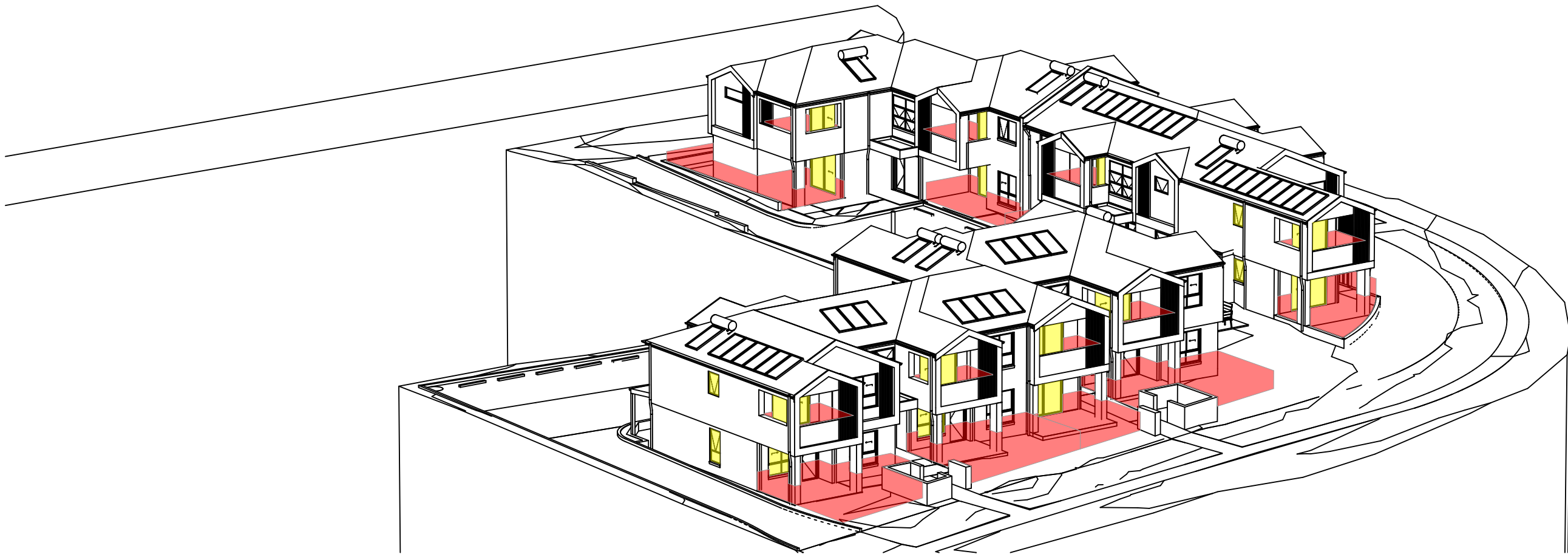
21st JUNE - 10am

1:250



21st JUNE - 11am

1:250



21st JUNE - 12pm

1:250



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PARRAMATTA NSW 2124

PHONE No 1800 738 718

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NOMINATED ARCHITECTS:

Daniel Donal

NSW ARB No.9068



REV	DATE	NOTATION/AMENDMENT
A	25/08/2023	DA ISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT

DTA Architects Pty Ltd

PH (02) 9601 1011

PROJECT MANAGER

LAND & HOUSING CORPORATION

PH 1800 738 718

STRUCTURAL / CIVIL

MSL Consulting Engineers Pty Ltd

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HYDRAULIC

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ELECTRICAL / BASIX CONSULTANT

Greenview Consulting Pty Ltd

PH (02) 8544 1683

LANDSCAPE CONSULTANT

Ray Fuggle & Associated Pty Ltd

PH 0412 294 712



Land & Housing Corporation

NORTHERN NSW REGION

PROJECT:

SENIORS HOUSING DEVELOPMENT

at

Lots 150, 151, 152 & 153 in DP 243997

3 Cooke Ave & 1, 3 & 5 Deegan Dr.

Alstonville NSW 2477

TITLE:

VIEW FROM SUN DIAGRAMs

FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL 3-5

Design Dr Alstonville\3 Design\3.2 DA

2022-034 LAHC Cooke+Deegan, Alstonville -

DA01 revised 16-5-23 - 2.ppt

PLOTTED: 18/09/2023

3:57 PM

STATUS: DEVELOPMENT APPLICATION			
DATE	SCALE	PROJ	JOB
18/09/2023	As shown @ A1	BGZF9	2022.034
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV:	
A	15 of 18	A	

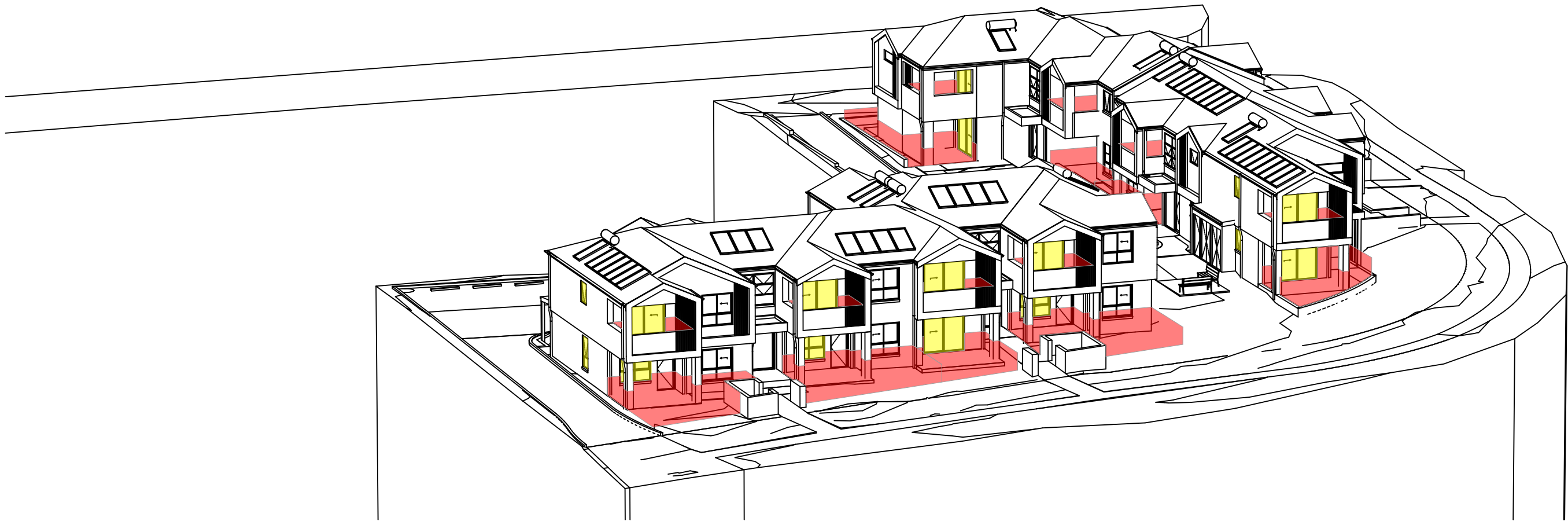
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SCALE FOR PRINTING

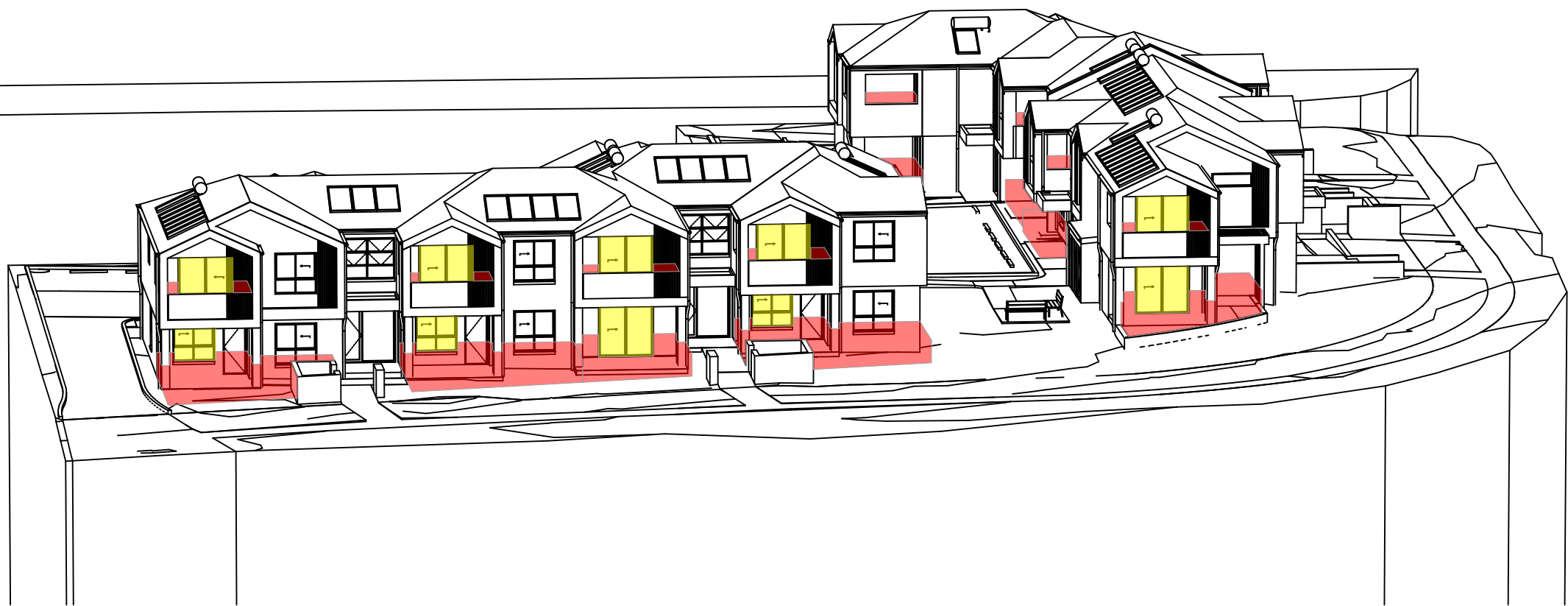
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21st JUNE - 1pm
1:250

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21st JUNE - 2pm
1:250

2
-



21st JUNE - 3pm
1:250

3
-

Solar Access to Living Rooms

	9-10 am	10-11 am	11-12 pm	12-1 pm	1-2 pm	2-3 pm	Hours
Unit 1							6
Unit 2							4
Unit 3							6
Unit 4							4
Unit 5							3.5
Unit 6							3
Unit 7							3.5
Unit 8							3.5
Unit 9							4
Unit 10							1.5
Unit 11							4
Unit 12							3
Unit 13							3
Unit 14							4
Unit 15							3
Unit 16							4

Solar Access to Private Open Space

	9-10 am	10-11 am	11-12 pm	12-1 pm	1-2 pm	2-3 pm	Hours
Unit 1							6
Unit 2							5
Unit 3							6
Unit 4							5
Unit 5							4
Unit 6							4
Unit 7							4
Unit 8							4
Unit 9							5
Unit 10							1.5
Unit 11							5
Unit 12							3
Unit 13							4
Unit 14							5
Unit 15							4
Unit 16							5



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NOMINATED ARCHITECTS:

Daniel Donai
NSW ARB No.9068

Member
Architects Institute of Australia

REV	DATE	NOTATION/AMENDMENT
A	25/08/2023	DAISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
DTA Architects Pty Ltd
PH (02) 9601 1011
PROJECT MANAGER
LAND & HOUSING CORPORATION
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STRUCTURAL / CIVIL
MSL Consulting Engineers Pty Ltd
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HYDRAULIC
Abel & Brown Pty Ltd
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ELECTRICAL / BASIX CONSULTANT
Greenview Consulting Pty Ltd
PH (02) 8544 1663
LANDSCAPE CONSULTANT
Ray Fuggle & Associated Pty Ltd
PH 0412 294 712



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
VIEW FROM SUN DIAGRAM

FILE: CAD File: S:\Data\3\2022\2022-034 LAHC SL-3-5
Design: Dr Alstonville\3 Design\3.2 DA
2022-034 LAHC Cooke+Deegan, Alstonville -
DA01 revised 16-5-23 - 2 pin
PLOTTED: 18/09/2023
3:57 PM

STATUS: DEVELOPMENT APPLICATION			
DATE 18/09/2023	SCALE As shown @ A1	PROJ BGZF9	JOB 2022.034
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 16 of 18	REV: A	

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SCALE FOR PRINTING

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1

-

CORNER OF DEEGAN DRIVE & COOKE AVE



2

-

DEEGAN DRIVE VIEW

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1
-

DEEGAN DRIVE VIEW



2
-

COOKE AVENE VIEW



3
-

BROWN AVENUE VIEW



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NOMINATED ARCHITECTS:	
-----------------------	--

Daniel Donai
NSW ARB No.9068



A	25/06/2023	DA ISSUE
REV	DATE	NOTATION/AMENDMENT
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ARCHITECT	DTA Architects Pty Ltd
PH (02) 9601 1011	
PROJECT MANAGER	LAND & HOUSING CORPORATION
PH 1800 738 718	
STRUCTURAL / CIVIL	MSL Consulting Engineers Pty Ltd
PH (02) 4226 5247	

HYDRAULIC Abel & Brown Pty Ltd PH (02) 9709 5705
ELECTRICAL / BASIX CONSULTANT Greenview Consulting Pty Ltd PH (02) 8544 1683
LANDSCAPE CONSULTANT Ray Fuggle & Associated Pty Ltd PH 0412 294 712



NSW
GOVERNMENT

Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:

SENIORS HOUSING DEVELOPMENT

at

Lots 150, 151, 152 & 153 in DP 243997

3 Cooke Ave & 1, 3 & 5 Deegan Dr.

Alstonville NSW 2477

TITLE:
PERSPECTIVES

FILE: CAD File: S:\Data3\2022\2022.034.LAHC.SL-3-5
Deegan Dr Alstonville\3.Design\3.2.DA
\2022.034.LAHC.Cooke+Deegan, Alstonville -
DA01.revised16-5-23 - 2.pln

OTTED: 18/09/2023
3:57 PM

STATUS: DEVELOPMENT APPLICATION			
DATE: 18/09/2023	SCALE: As shown @ A1	PROJ: BGZF9	JOB: 2022.034
STAGE: C	DRAWN: SD	CHECKED: DD	CERTIFIER: DD
TYPE: A	SHEET: 18 of 18		REV: A

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SCALE FOR PRINTING
PURPOSE ONLY

JOIN LINE WITH
DRAWING NO. L-02

COOKE AVENUE

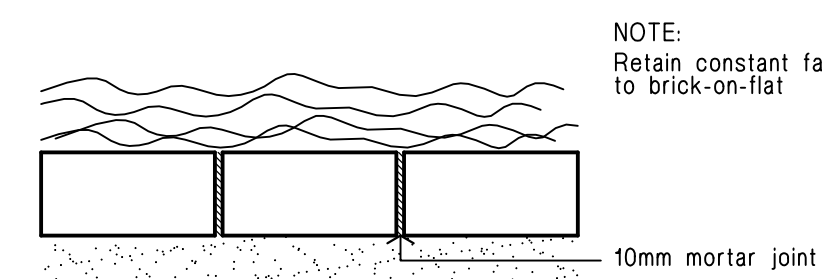
New footpath to
connect to Brown St to
council specifications

EDGE OF PAVEMENT

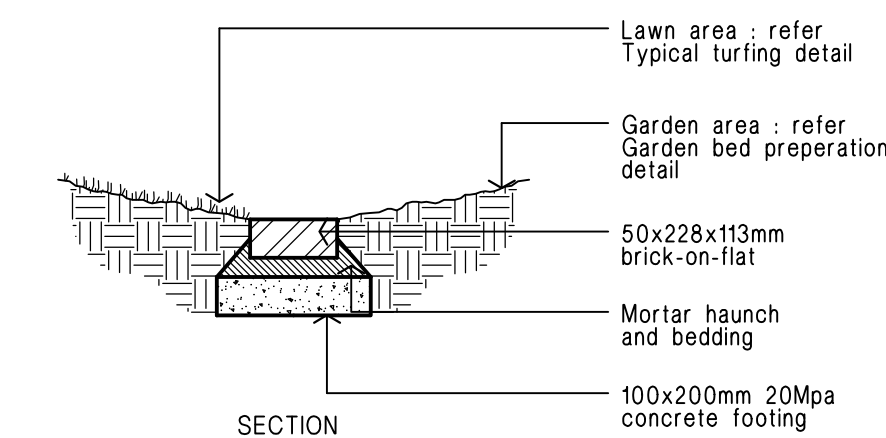
EDGE OF PAVEMENT

BROWN STREET LANDSCAPE PLAN 1 : 100

NEW VEHICLE CROSSING WITH A
FORMED NEW LAYBACK AND
CROSSING. TO BE PROVIDED AS
PER COUNCIL'S SPECIFICATIONS.

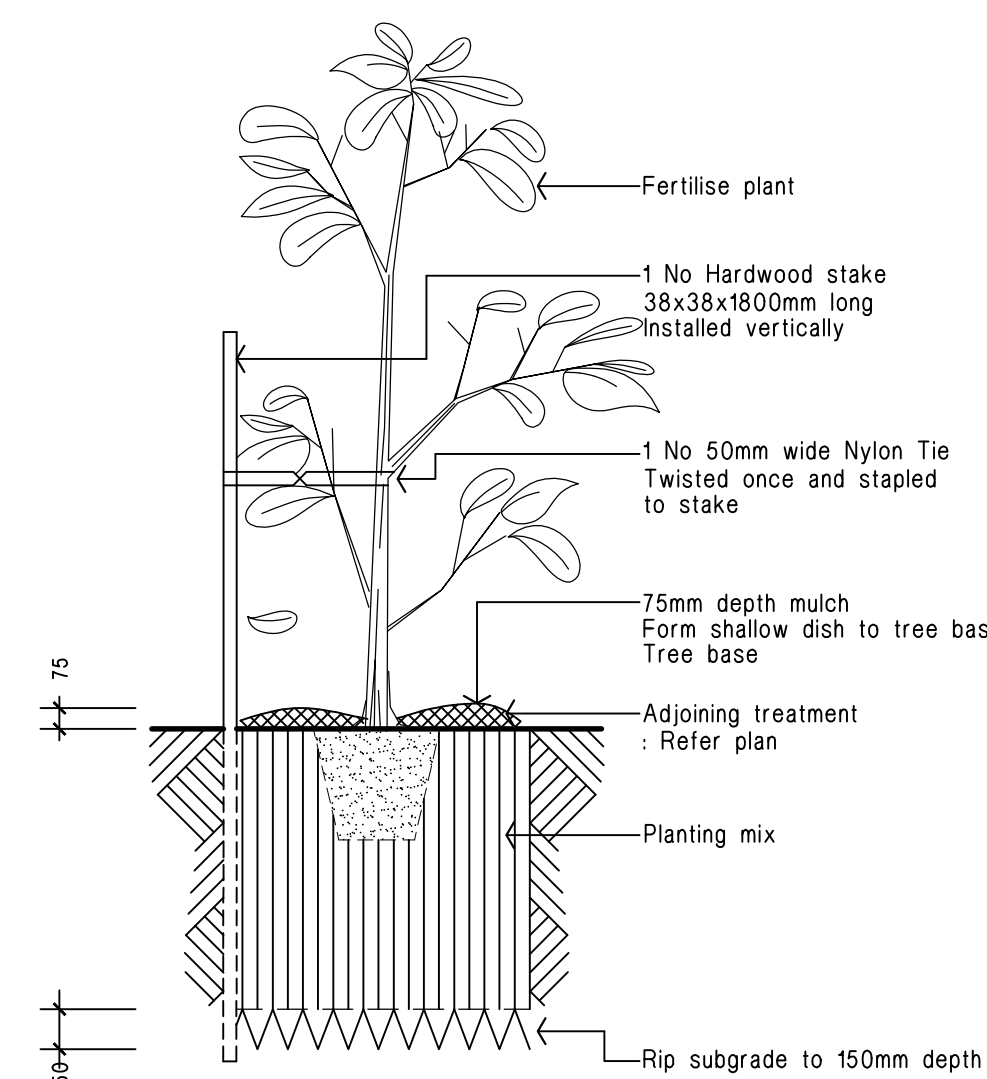


PLAN



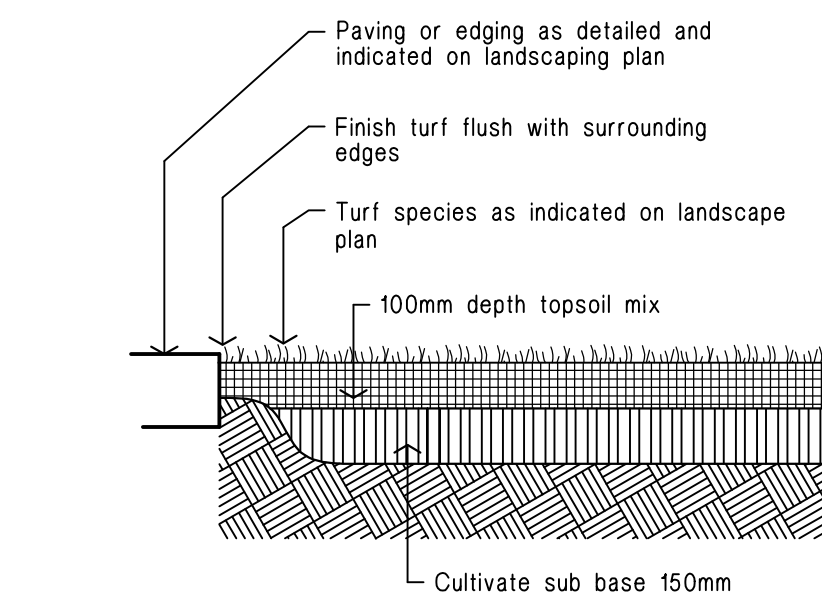
SECTION

Brick garden edge Detail.



45 litre Tree planting Detail.

Not.To.Scale.



Ground preparation Grassed area: turf using imported topsoil Detail.

Not.To.Scale.

LEGEND

- turf
Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards inlet pits, kerbs etc. and away from buildings. Ensure that no ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No. 17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Soft leafed Buffalo" turf rolls closely butted. Fill and small gaps with topsoil. Water thoroughly.
- brick garden edging
Lay a single course of paving bricks in a mortar haunch (200mm wide and 100mm deep). The edges are to be laid in even curves and straight lines as shown on the plan. Where tight curves are shown use half bricks to show a more even curve. The top of the edges to finish flush with the adjacent turf and mulch levels.
- existing trees to be removed
- existing trees to be retained
- stepping stones
Precast concrete stepping stones in decorative gravel mulch
- planting areas
Ensure that the mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie: No clay). Install 75mm depth of selected mulch.

maintenance:

All landscape works are to be maintained for a period of three months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.

irrigation:

All planting areas on the landscape plan are to be covered by a fully automatic drip irrigation system. All pipework is to be PVC to satisfy AS 1477. All installation is to satisfy the Sydney Water Code and AS 3500. The system is to be installed by a suitable licenced contractor. All equipment and workmanship is to be guaranteed for a minimum period of 12 months.

fencing:

For all fencing types and materials refer to the Architects plans.

PLANT SCHEDULE

Code	Latin Name (Common Name - Mature Height)	Qty	Size	Stake
Trees				
B	Banksia serrata (Old man banksia - 8m)	7	45 litre	yes
L	Tibouchina 'Alstonville' (Tibouchina - 3m)	3	45 litre	yes
L	Lagerstroemia indica 'Natchez' (Crepe myrtle - 5m)	2	45 litre	yes
P	Pyrus calleryana 'Chanticleer' (Callery Pear - 10m)	1	45 litre	yes
T	Tristania laurina 'Luscious' (Water Gum - 10m)	5	45 litre	yes
Shrubs				
Aa	Asplenium australasicum (Birds nest fern - 1m)	2	5 litre	-
Bsl	Blechnum 'Silver lady' (Water fern - 0.7m)	4	5 litre	-
Cbj	Callistemon 'Better John' (Dwarf Bottlebrush - 1m)	76	5 litre	-
Cci	Casuarina 'Cousin it' (Prostrate casuarina - 0.3m)	38	5 litre	-
Cwa	Callistemon 'White Anzac' (White Bottlebrush - 1.5m)	32	5 litre	-
Cma	Callistemon 'Macarthur' (Bottlebrush - 1.8m)	16	5 litre	-
Cs	Camellia sasanqua (Sasanqua - 3m)	1	15 litre	yes
De	Doryanthus excelsa (Gynea lilly - 1m)	8	15 litre	-
Hyl	Hymenosporum flavum 'Luscious' (Native frangipani - 0.5m)	60	5 litre	-
Lc	Leptospermum 'Cardwell' (Dwarf Tea Tree - 2m)	7	5 litre	-
Mp	Murraya paniculata (Cosmetic bark tree - 3m)	2	5 litre	-
Mt	Melaleuca thymifolia (Rock Myrtle - 1m)	9	5 litre	-
Mct	Melaleuca 'Claret Tops' (Paperbark - 1.2m)	8	5 litre	-
Px	Phyllodendron xanadu (Dwarf phyllodendron - 0.5m)	83	5 litre	-
Rsm	Raphiolepis 'Snow maidens' (Indian hawthorne - 0.75m)	85	5 litre	-
Sre	Syzygium australe 'Resilience' (Lilly Pilly - 3m)	61	5 litre	-
Sp	Syzygium australe 'Pinnacle' (Lilly Pilly - 3m)	28	5 litre	-
Wmu	Westringia fruticosa 'Mund' (Westringia - 0.6m)	42	5 litre	-
Groundcovers				
Cm	Clivea miniata (Kaffir lilly - 0.5m)	8	150mm pot	-
Lrg	Liriope 'Evergreen Giant' (Giant liriopie - 0.5m)	126	150mm pot	-
Man	Mandevilla sp. 'Pink' (Mandevilla - climber)	46	150mm pot	-



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NOMINATED
ARCHITECTS:

Daniel Donal
NSW ARB No.9068

Partial Image #1 0661042.jpg

ARCHITECT	DTA Architects Pty Ltd PH (02) 9601 1011
PROJECT MANAGER	LAND & HOUSING CORPORATION PH
STRUCTURAL / CIVIL	MSL Consulting Engineers Pty Ltd PH (02) 4238 5247
HYDRAULIC	Abel & Brown Pty Ltd PH (02) 9706 5785
ELECTRICAL / BASIX CONSULTANT	Greenview Consulting Pty Ltd PH (02) 8544 1683
LANDSCAPE CONSULTANT	Ray Fuggle & Associated Pty Ltd PH (04) 12 294 712
DATE	28/08/2023
NOTATION/AMENDMENT	DA ISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.	FIGURED DIMENSIONS TAKE PRECEDENCE.



Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS LIVING DEVELOPMENT
at
Lots 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3 & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
LANDSCAPE PLAN

FILE: CAD File: C:\484ab.dwg
PLOTTED: 28/08/2023
2:57 PM

STATUS: **DEVELOPMENT APPLICATION**

DATE: 28/08/2023
SCALE: As shown @ A1
STAGE: B
DRAWN: HK
CHECKED: RF
CERTIFIER: DD
REV: B

L 1 No of 2 B

0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY

LEGEND

turf
Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards inlet pits, kerbs etc. and away from buildings. Ensure that no ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No. 17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Soft leafed Buffalo" turf rolls closely butted. Fill and small gaps with topsoil. Water thoroughly.

brick garden edging
Lay a single course of paving bricks in a mortar haunch (200mm wide and 100mm deep). The edges are to be laid in even curves and straight lines as shown on the plan. Where tight curves are shown use half bricks to show a more even curve. The top of the edges to finish flush with the adjacent turf and mulch levels.

existing trees to be removed

existing trees to be retained

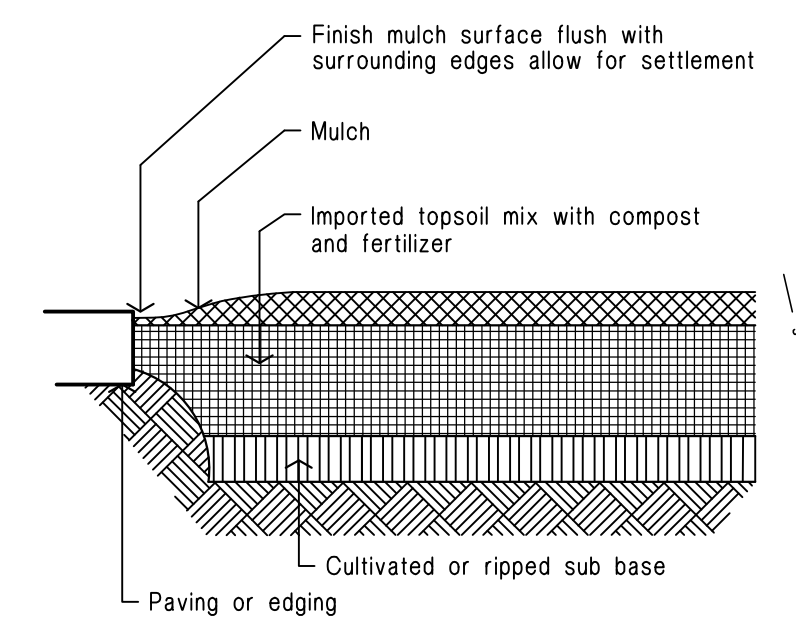
stepping stones
Precast concrete stepping stones in decorative gravel mulch

planting areas
Ensure that the mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie. No clay). Install 75mm depth of selected mulch.

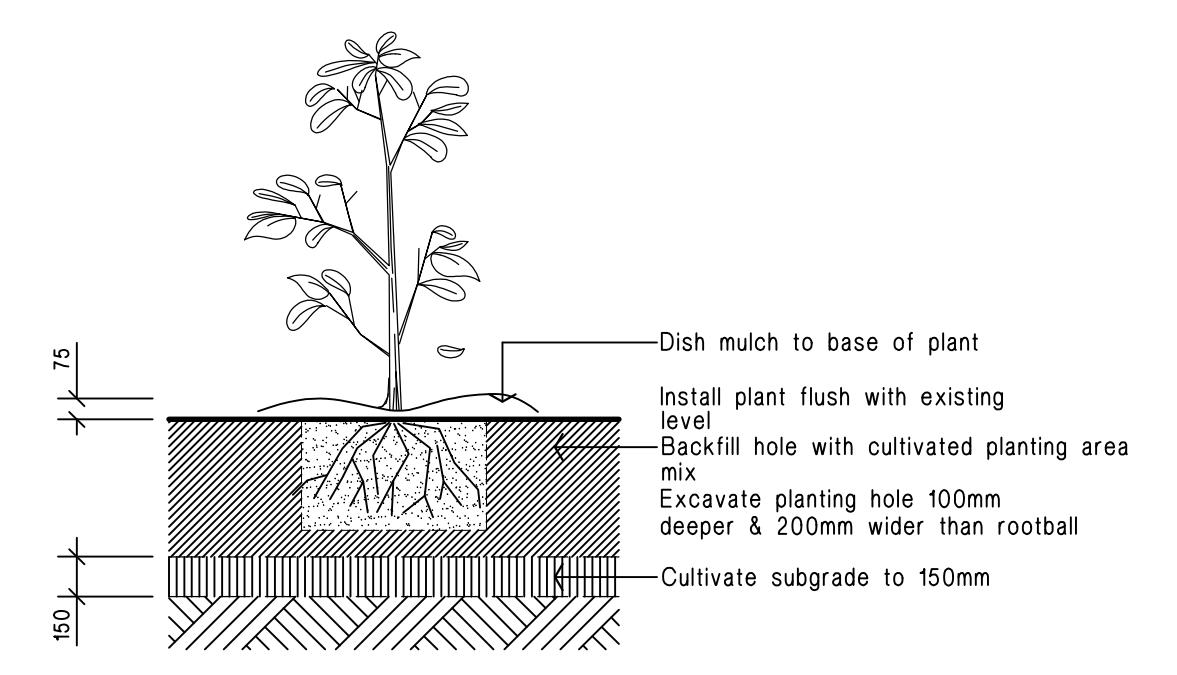
maintenance:
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irrigation:
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fencing:
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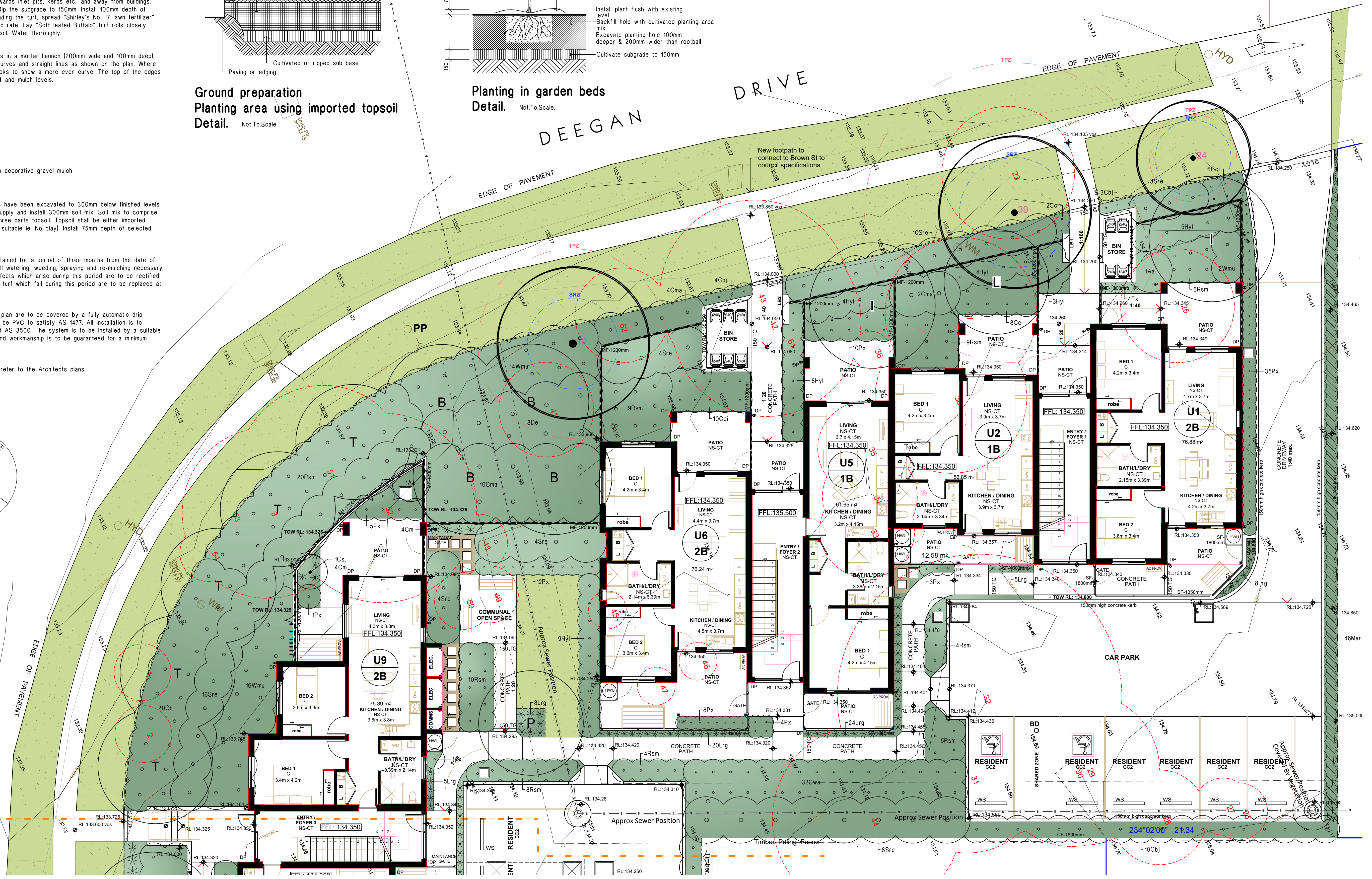
Ground preparation
Planting area using imported topsoil
Detail. Not To Scale.



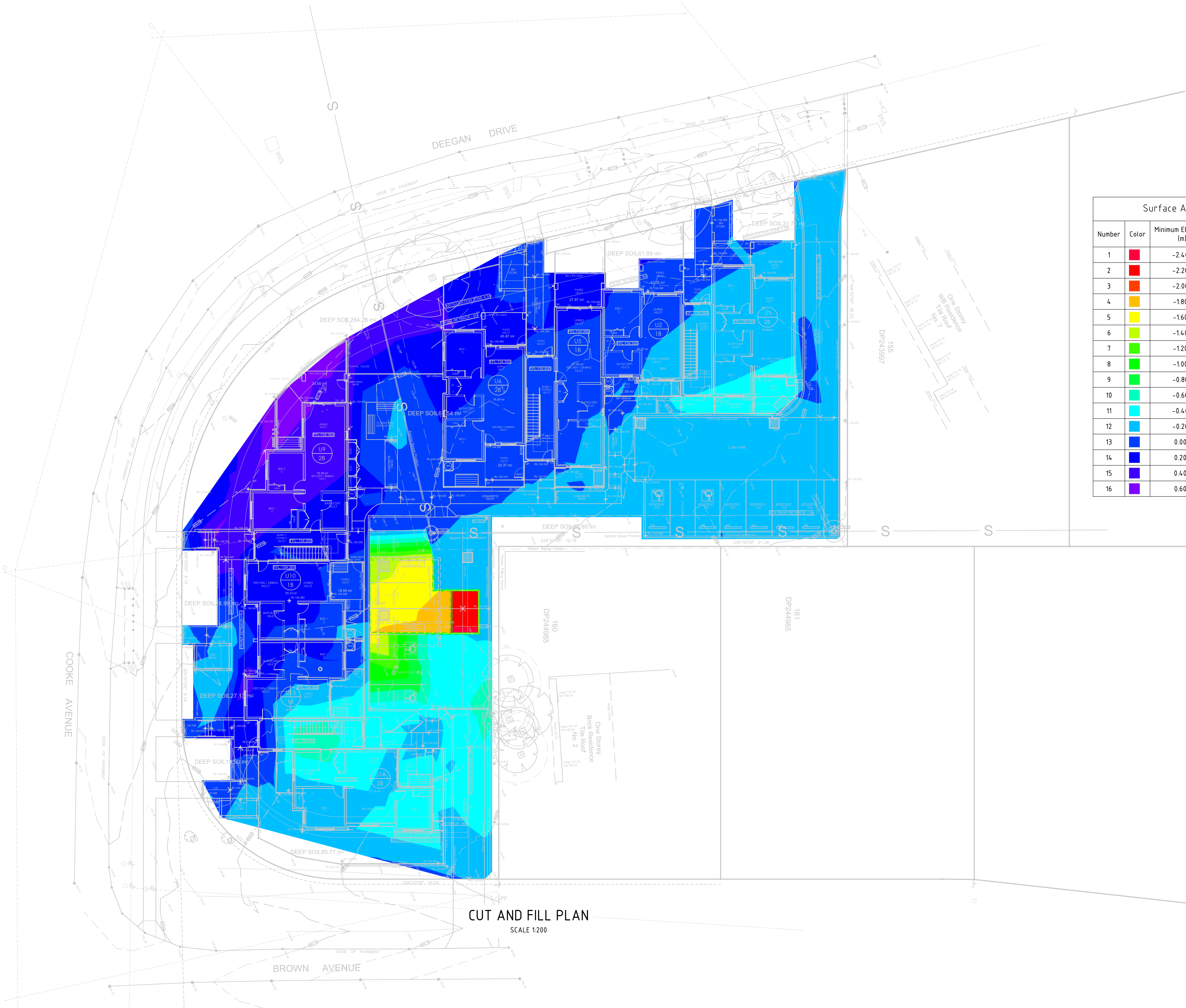
Planting in garden beds
Detail. Not To Scale.

ANDREASENS GREEN
WHOLESALE NURSERIES

CROSSING: TO BE PROVIDED AS PER COUNCIL'S SPECIFICATIONS.



LANDSCAPE PLAN 1 : 100



Surface Analysis: Elevation Ranges					
Number	Color	Minimum Elevation (m)	Maximum Elevation (m)	2D Area (m ²)	Volume (m ³)
1		-2.400	-2.200	1.4	0.0
2		-2.200	-2.000	9.0	1.6
3		-2.000	-1.800	0.5	2.1
4		-1.800	-1.600	14.4	3.0
5		-1.600	-1.400	31.8	8.0
6		-1.400	-1.200	10.3	12.8
7		-1.200	-1.000	7.9	14.2
8		-1.000	-0.800	10.6	16.1
9		-0.800	-0.600	12.6	18.4
10		-0.600	-0.400	35.0	21.9
11		-0.400	-0.200	249.7	47.1
12		-0.200	0.000	790.7	138.7
13		0.000	0.200	567.0	155.3
14		0.200	0.400	324.3	62.0
15		0.400	0.600	157.7	19.6
16		0.600	0.800	28.9	0.8

CUT AND FILL PLAN
SCALE 1:200

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
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W: www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
C	18/09/2023	ISSUED FOR D.A.
B	03/08/2023	ISSUED FOR D.A.
A	20/07/2023	ISSUED FOR D.A.
P1	25/05/2023	PRELIMINARY SKETCH FOR REVIEW
REV	DATE	NOTATION/AMENDMENT
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HYDRAULIC CONSULTANT
ABEL & BROWN PTY LTD
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LANDSCAPE CONSULTANT
RAY FUGGLE & ASSOCIATED PTY LTD
PH (0412) 234 712

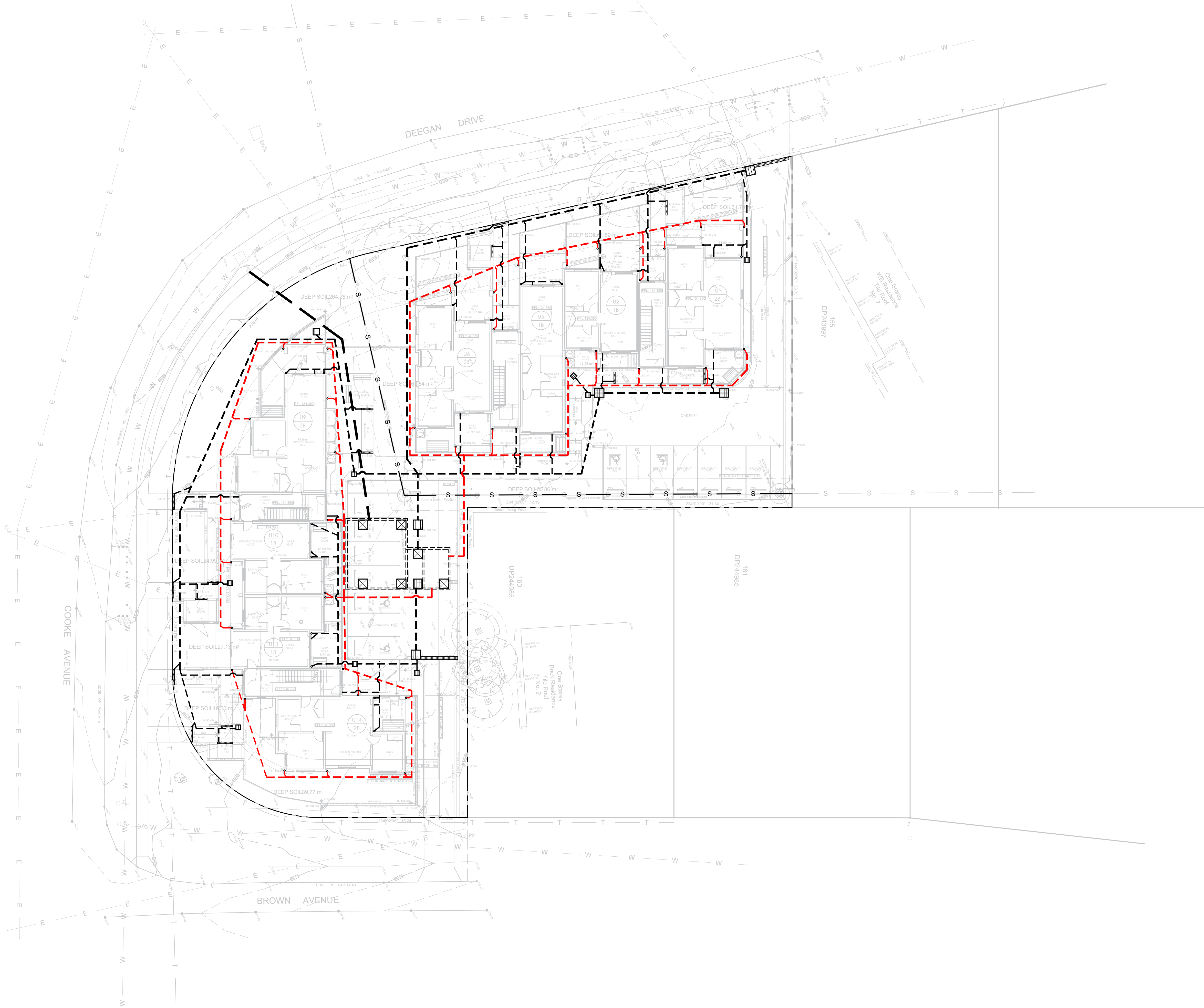
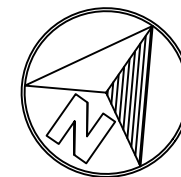
BUSINESS PARTNER:
NSW GOVERNMENT
Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3, & 5 Deegan Dr.
Alstonville NSW 2477

TITLE: CUT AND FILL PLAN		STATUS: DA ISSUE	
DATE: 18/09/23	SCALE: 1:200 @ A1	PROJ: BGZF9	JOB: 23104
STAGE: B	DRAWN: TP	CHECKED: MP	CERTIFIED: MP
FILE:	PLOTTED: 18/09/2023	TYPE: C	SHEET: 1 of 1
		REV:	C

0 5 10 20 40MM
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3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY MSL CONSULTING ENGINEERS

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REV	DATE	NOTATION/AMENDMENT
C	18.09.2023	ISSUED FOR D.A.
B	03.08.2023	ISSUED FOR D.A.
A	20.07.2023	ISSUED FOR D.A.
P1	26.05.2023	CONCEPT PLAN
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PH (02) 8544 1683

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LANDSCAPE CONSULTANT
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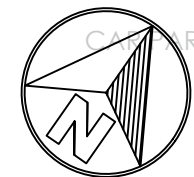
BUSINESS PARTNER:
NSW GOVERNMENT
Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3, & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
SITE DRAINAGE PLAN
FILE:

STATUS: DA ISSUE			
DATE: 18/09/23	SCALE: 1:200 @ A1	PROJ: BGZF9	JOB: 23104
STAGE: B	DRAWN: TP	CHECKED: MP	CERTIFIED: MP
TYPE: SW	SHEET: 2 of 7	REV: C	

OCEANGUARD SHALL BE
INSTALLED AS PER
"OCEANGUARD SURFACE FLOW
CONFIGURATION"



ALL EXISTING LEVELS TO BE CONFIRMED ON SITE AND
ENGINEER TO BE NOTIFIED PRIOR TO COMMENCEMENT
OF WORK.

DEPTH AND LOCATION OF ALL EXISTING SERVICES TO
BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE
NOTIFIED.

SYMBOLS & NOTATION

	Ø150 STORMWATER DRAINAGE LINE UNLESS NOTED OTHERWISE
	Ø150 STORMWATER DRAINAGE LINE FROM ROOF CATCHMENT TO RAINWATER TANK
	900 SQUARE GRATED PIT FITTED WITH OCEANGUARD BASKETS
	450 SQUARE GRATED PIT
	150 WIDE TRENCH GRATE
	300 WIDE TRENCH GRATE
	DOWN PIPE SIZE AND PROJECTION
	PATIO OUTLET

OSD SUMMARY

SITE TRIBUTARY AREA = 1753m²

STORAGE DETAILS

STORAGE RETENTION

SSR = 0.1753Ha x 260 = 45.6m³

PERMISSIBLE SITE DISCHARGE

PSD = 0.1753Ha x 480 = 84.1 L/s

ORIFICE RESTRICTION:

Q = C A (2gh)^{0.5}

ORIFICE DIAMETER = Ø195 mm

STORAGE REQUIRED

= 45.6m³

STORAGE PROVIDED

= 45.78m³

COOKE AVENUE

BROWN AVENUE

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
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REV	DATE	NOTATION/AMENDMENT
C	18.09.2023	ISSUED FOR D.A.
B	03.08.2023	ISSUED FOR D.A.
A	20.07.2023	ISSUED FOR D.A.
P1	26.05.2023	CONCEPT PLAN

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PROJECT MANAGER
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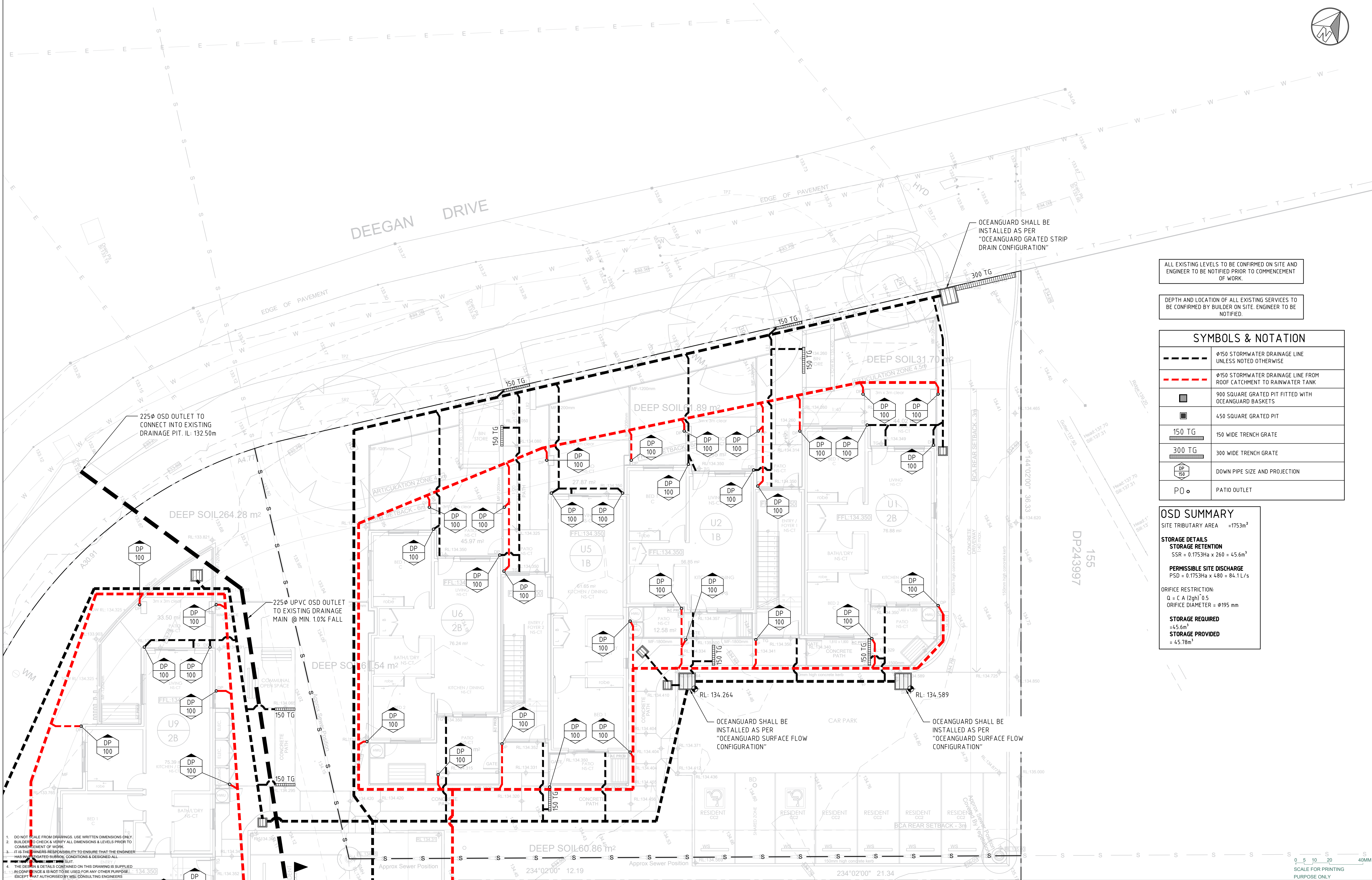
BUSINESS PARTNER:
NSW GOVERNMENT
Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3, & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
DRAINAGE PLAN - SHEET 1
FILE:
PLOTTED:
18/09/2023

STATUS:
DA ISSUE
DATE:
18/09/23
SCALE:
1:100 @ A1
STAGE:
B
TYPE:
SW
PROJECT:
BGZF9
CHECKED:
MP
SHEET:
3 of 7
JOB:
23104
CERTIFIED:
MP
REV:
C

0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY



ALL EXISTING LEVELS TO BE CONFIRMED ON SITE AND ENGINEER TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.

DEPTH AND LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE NOTIFIED.

SYMBOLS & NOTATION	
	Ø150 STORMWATER DRAINAGE LINE UNLESS NOTED OTHERWISE
	Ø150 STORMWATER DRAINAGE LINE FROM ROOF CATCHMENT TO RAINWATER TANK
	900 SQUARE GRATED PIT FITTED WITH OCEANGUARD BASKETS
	450 SQUARE GRATED PIT
	150 WIDE TRENCH GRATE
	300 WIDE TRENCH GRATE
	DOWN PIPE SIZE AND PROJECTION
	PATIO OUTLET

OSD SUMMARY
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STORAGE DETAILS
STORAGE RETENTION
SSR = 0.1753Ha x 260 = 45.6m³
PERMISSIBLE SITE DISCHARGE
PSD = 0.1753Ha x 480 = 84.1 L/s
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Q = C A (2gh)^{0.5}
ORIFICE DIAMETER = Ø195 mm
STORAGE REQUIRED
= 45.6m³
STORAGE PROVIDED
= 45.78m³

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- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED AS A PROFESSIONAL SERVICE AND IS NOT TO BE USED FOR ANY OTHER PURPOSES EXCEPT THAT AUTHORISED BY MSL CONSULTING ENGINEERS

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P1	26.05.2023	CONCEPT PLAN
REV	DATE	NOTATION/AMENDMENT

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PROJECT MANAGER
LAND & HOUSING CORPORATION
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ARCHITECT
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BUSINESS PARTNER:
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NORTHERN NSW REGION

PROJECT:
SENIORS HOUSING DEVELOPMENT
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LOTS 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3, & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:
DRAINAGE PLAN - SHEET 2

FILE:

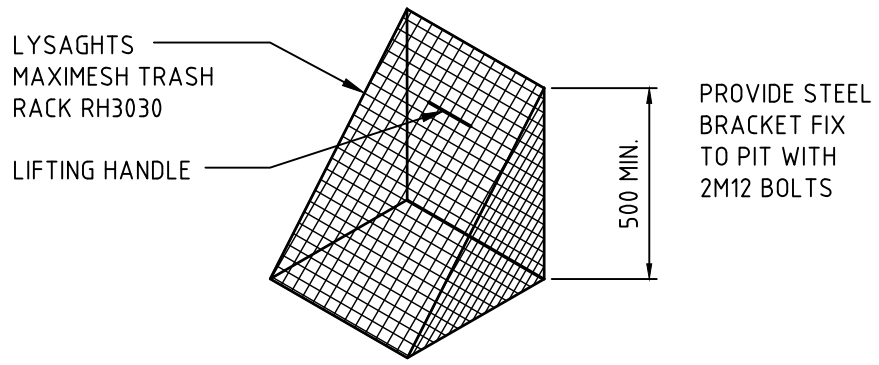
STATUS:
DA ISSUE

DATE: 18/09/23
STAGE: B
TYPE: SW
SCALE: 1:100 @ A1
PROJ: BGZF9
CHECKED: MP
SHEET: 4 of 7
JOB: 23104
CERTIFIED: MP
REV: C

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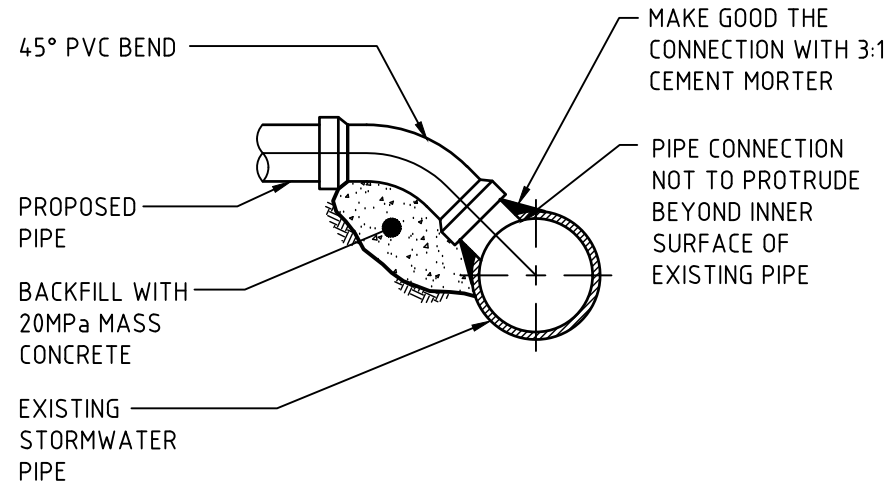
THE ON-SITE FACILITY HAS BEEN DESIGNED TO WITHSTAND MAXIMUM LOADING (W80) WHICH IS LIKELY TO BE USED THE ACCESSWAY. THE DESIGN WAS APPLIED IN ACCORDANCE WITH AS/NZ 1170 - STRUCTURAL DESIGN ACTIONS.

PROVIDE CORROSION RESISTANT IDENTIFICATION PLAQUE AT OSD LOCATION STATING THE FOLLOWING:
"THIS STRUCTURE IS AN OSD FACILITY, FORMING PART OF THE STORMWATER DRAINAGE NETWORK AND IS NOT TO BE TAMPERED WITH. IDENTIFICATION NUMBER: DA-xxxx/xxx MAINTENANCE TO BE CARRIED IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE FOR THIS SITE"



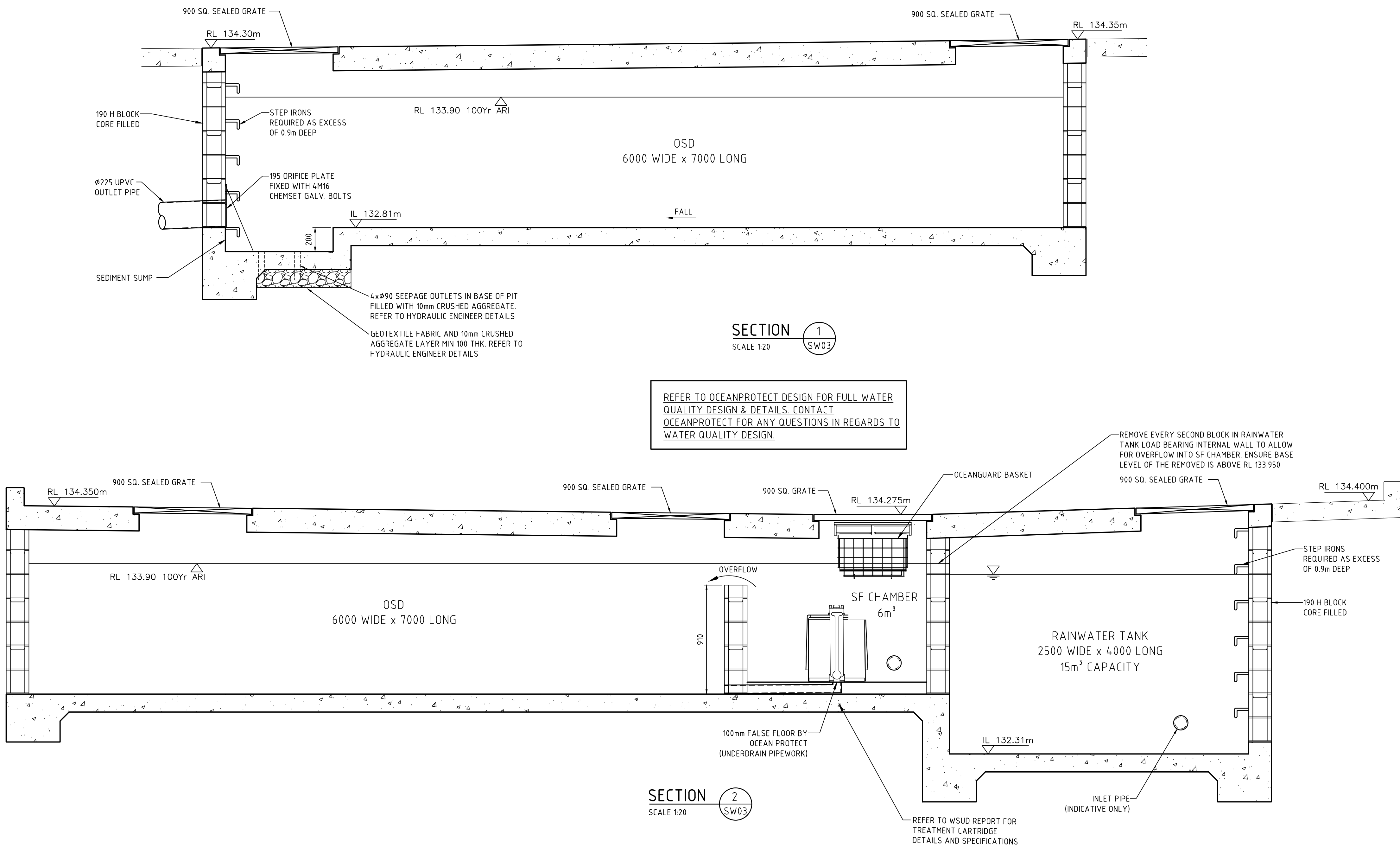
MESH SCREEN DETAIL

NOT TO SCALE
GALVANISED LYSAGHT RH3030MAXI MESH SCREEN IN GALVANISED STEEL FRAME WITH LIFTING HANDLES



CONNECTION TO EXISTING DRAINAGE LINE

NOT TO SCALE



SECTION 1
SCALE 1:20
SW03

REFER TO OCEANPROTECT DESIGN FOR FULL WATER QUALITY DESIGN & DETAILS. CONTACT OCEANPROTECT FOR ANY QUESTIONS IN REGARDS TO WATER QUALITY DESIGN.

SECTION 2
SCALE 1:20
SW03

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0 5 10 20 40MM
SCALE FOR PRINTING
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GOVERNMENT

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PARRAMATTA NSW 2124
PHONE No 1800 738 718

[www.dpie.nsw.gov.au/
land-and-housing-corporation](http://www.dpie.nsw.gov.au/land-and-housing-corporation)

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PO Box 567 Dapto NSW
p 02 4226 5247
e: info@mslengineers.com.au
w: www.mslengineers.com.au

C	18.09.2023	ISSUED FOR D.A.
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P1	26.05.2023	CONCEPT PLAN
REV	DATE	NOTATION/AMENDMENT
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PROJECT MANAGER

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PH (02) 9709 5705

LANDSCAPE CONSULTANT

RAY FUGGLE & ASSOCIATED PTY LTD
PH 0412 294 712

BUSINESS PARTNER:

NSW

GOVERNMENT

Land & Housing Corporation
NORTHERN NSW REGION

PROJECT:

SENIORS HOUSING DEVELOPMENT

at
LOTS 150, 151, 152 & 153 in DP 243997
3 Cooke Ave & 1, 3, & 5 Deegan Dr.
Alstonville NSW 2477

TITLE:

OSD SECTION AND STORMWATER DETAILS

FILE:

18/09/2023

PLOTTED:

18/09/2023

TYPE:

SW

SHEET:

5 of 7

REV:

C

STATUS: DA ISSUE

DATE:
18/09/23

SCALE:
NTS @ A1

PROJ:
BGZF9

JOB:
23104

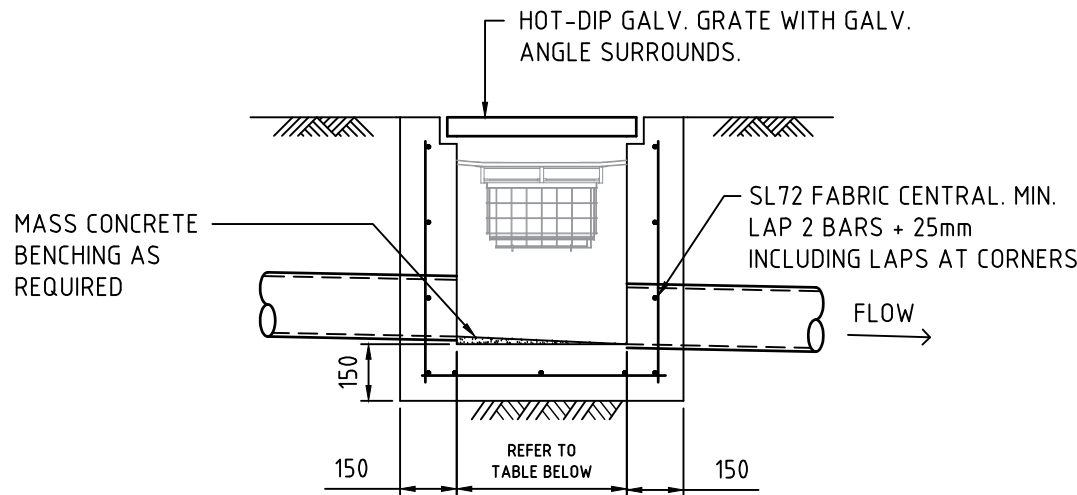
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DRAWN:
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CERTIFIED:
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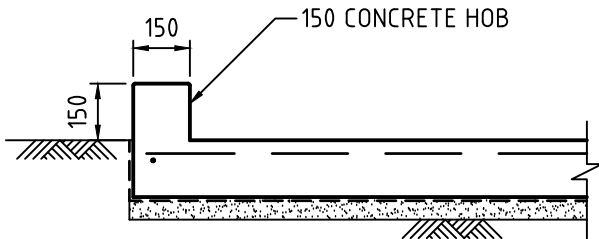
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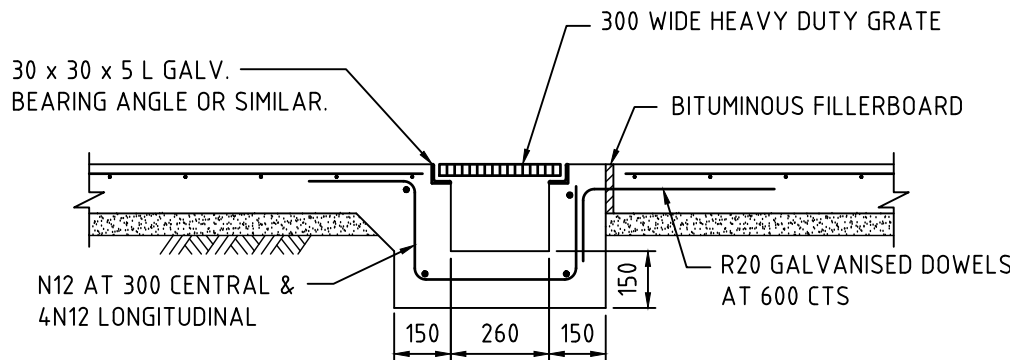
TYPICAL SURFACE INLET PIT
-NATURAL SURFACE
NOT TO SCALE

NOTES :
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

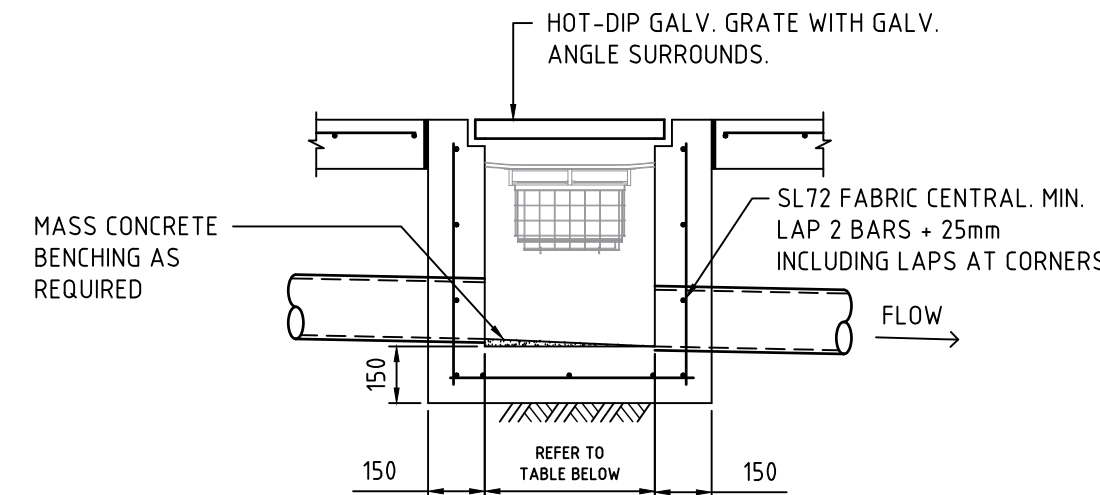
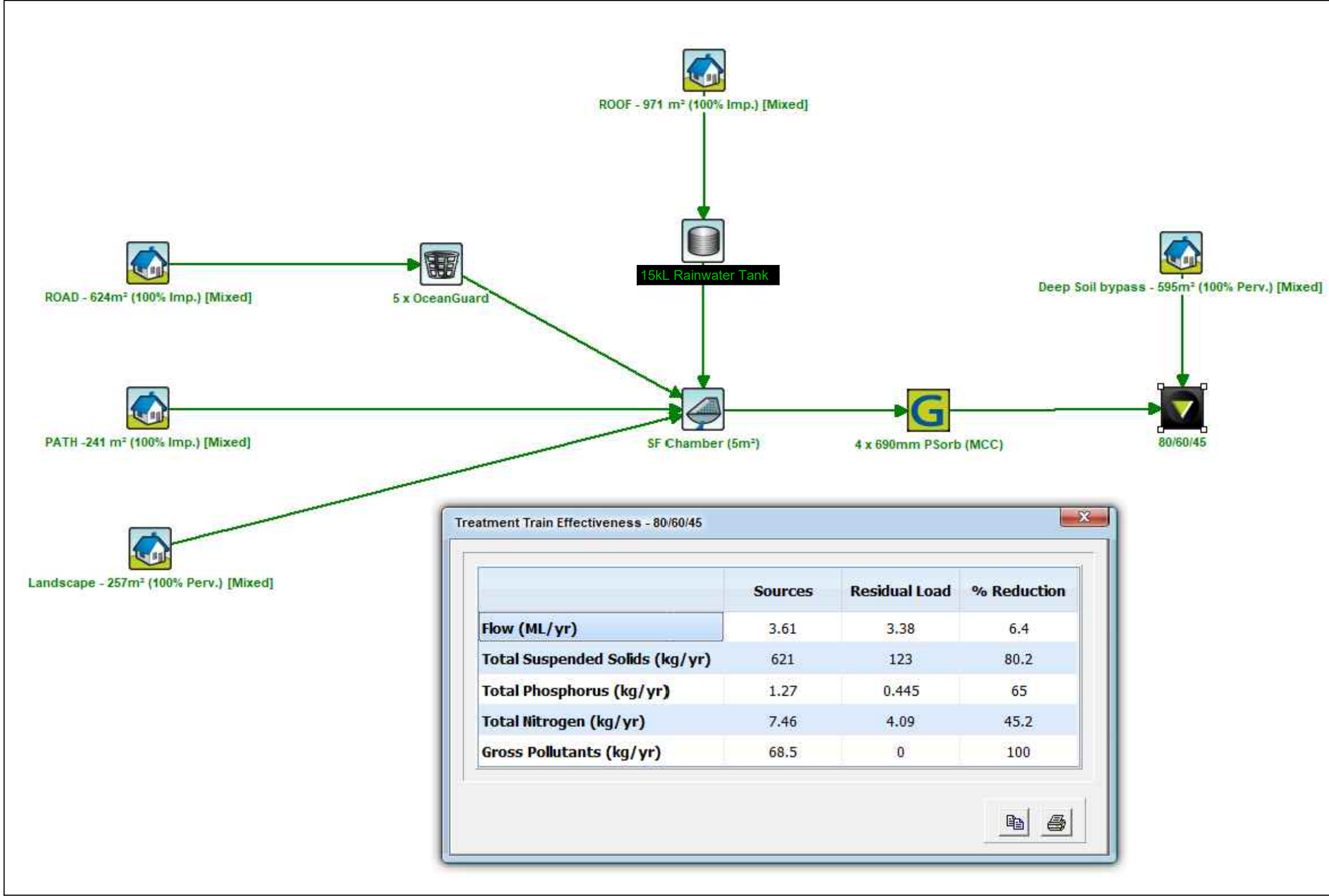
- | Depth to Invert | Pit Internal Dimensions |
|-----------------|-------------------------|
| <600 | 450x450 |
| >600 <900 | 600x600 |
| >900 <1200 | 600x900 |
| >1200 | 900x900 |
- PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
- REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
- PROVIDE Ø90 x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
- ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
- CONCRETE STRENGTH $f'c = 32 \text{ MPa}$



TYP DRIVEWAY 150 HOB
DETAIL
SCALE 1:20



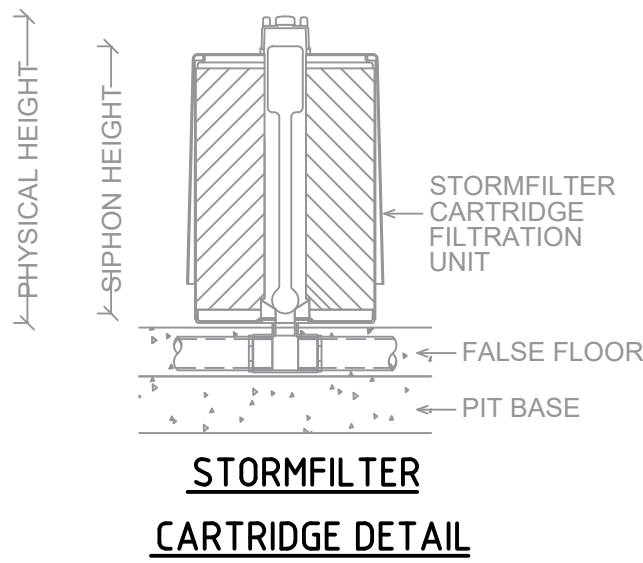
TYPICAL GRATED DRAIN DETAIL
SCALE: 1:20



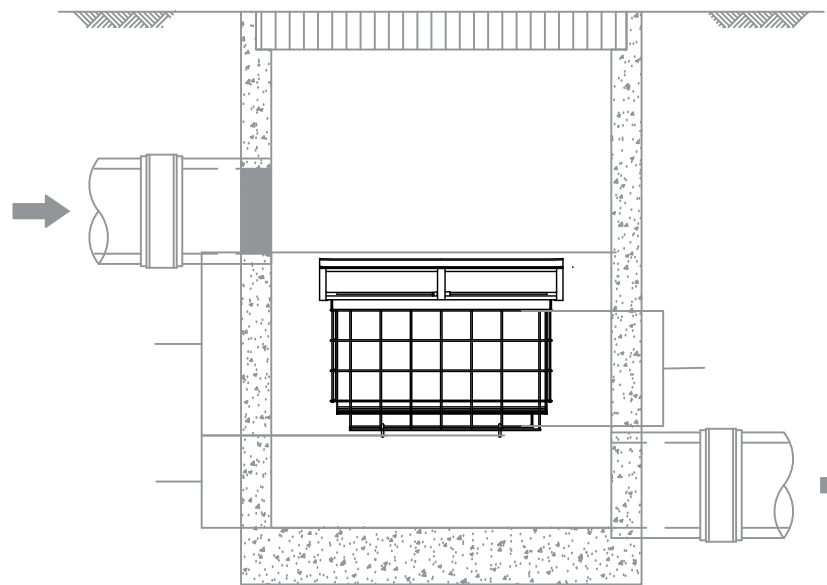
TYPICAL SURFACE INLET PIT
-CONCRETE SURFACE
NOT TO SCALE

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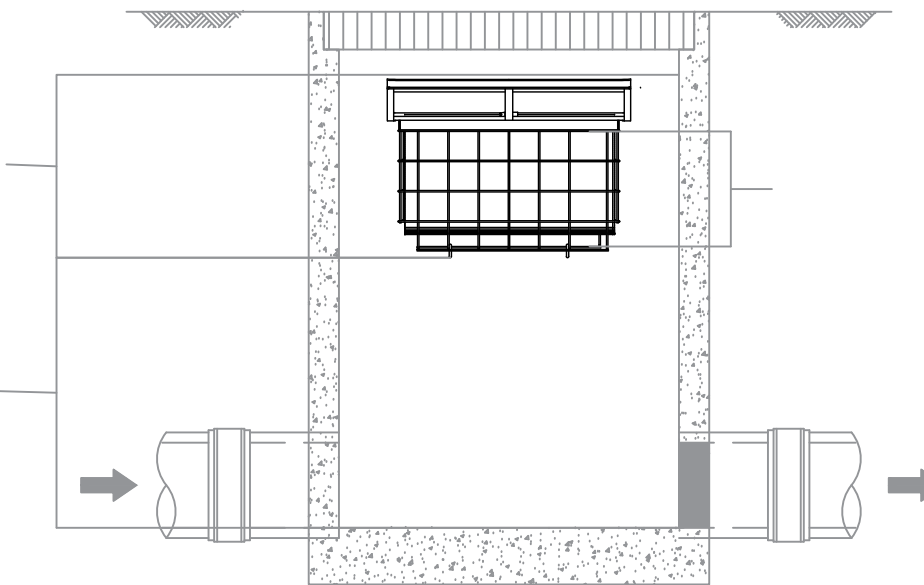
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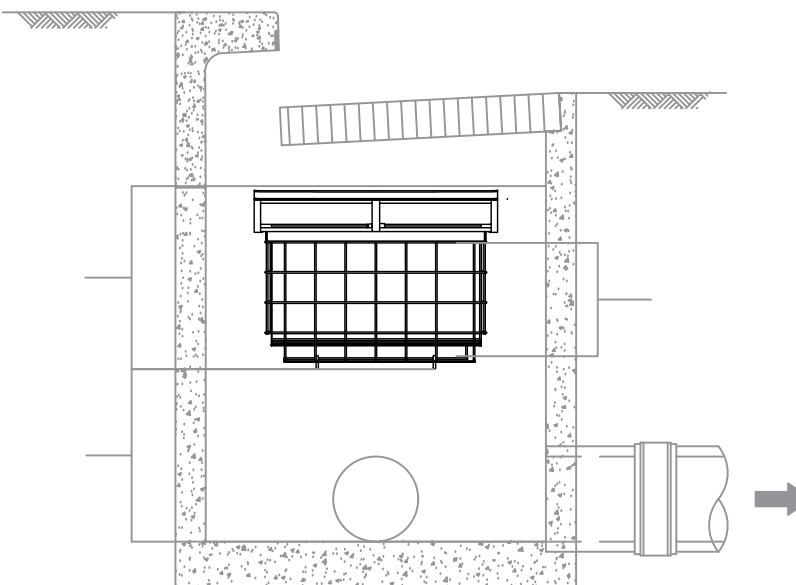
STORMFILTER
CARTRIDGE DETAIL



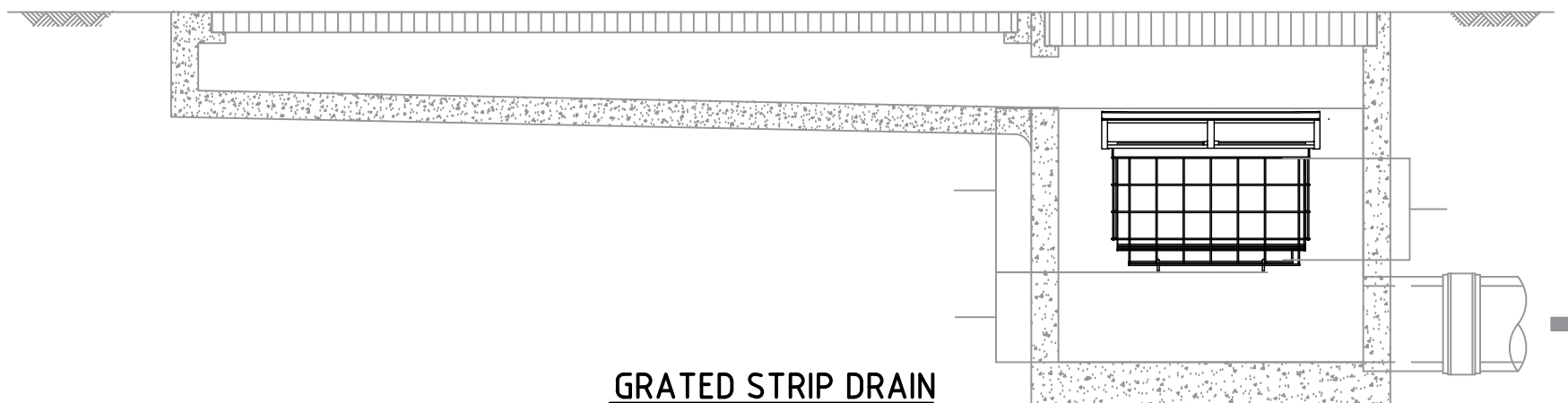
PIPE FLOW
CONFIGURATION



SURFACE FLOW
CONFIGURATION



SURFACE FLOW
CONFIGURATION



GRATED STRIP DRAIN
CONFIGURATION

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e info@mslengineers.com.au
w www.mslengineers.com.au

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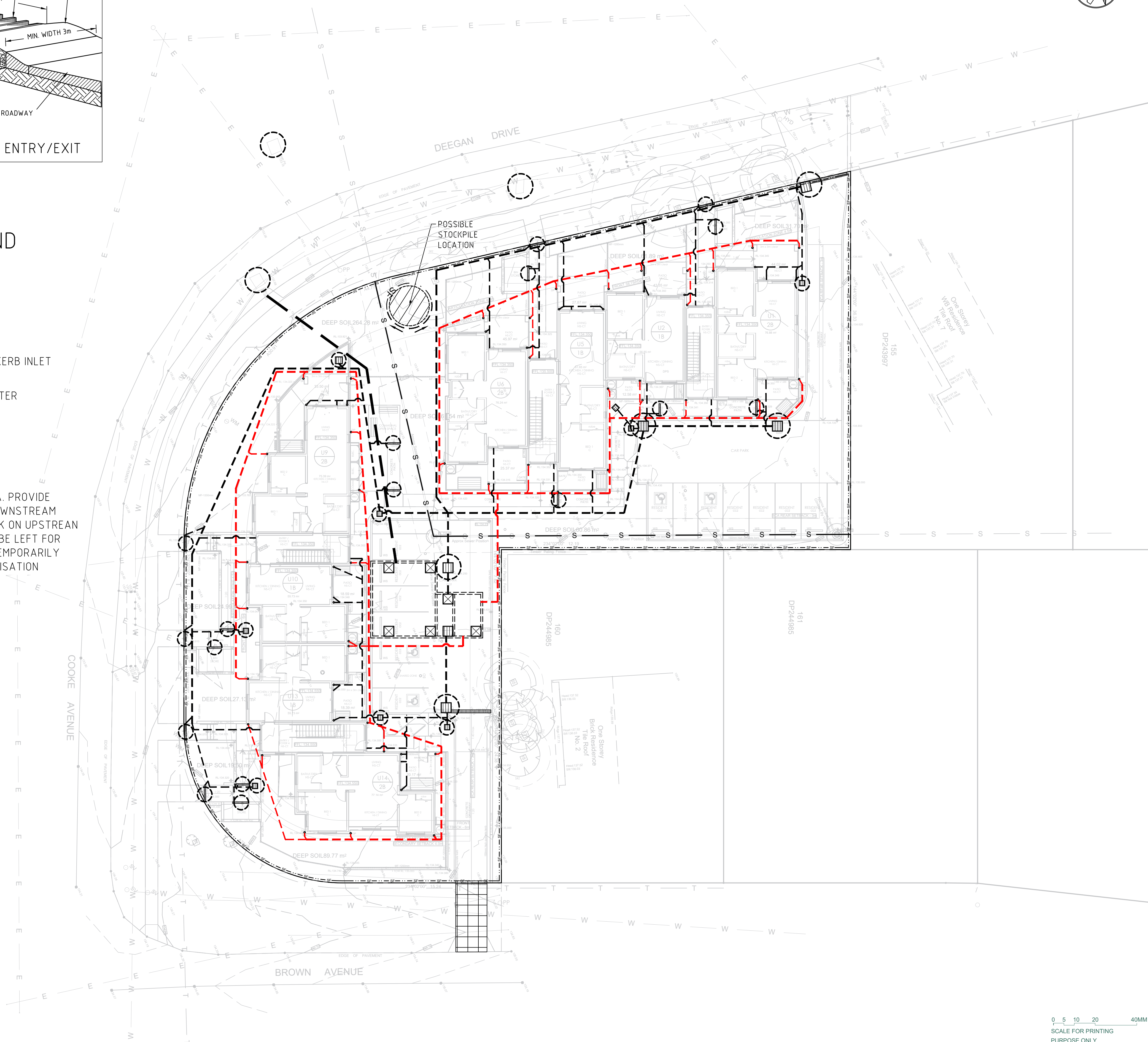
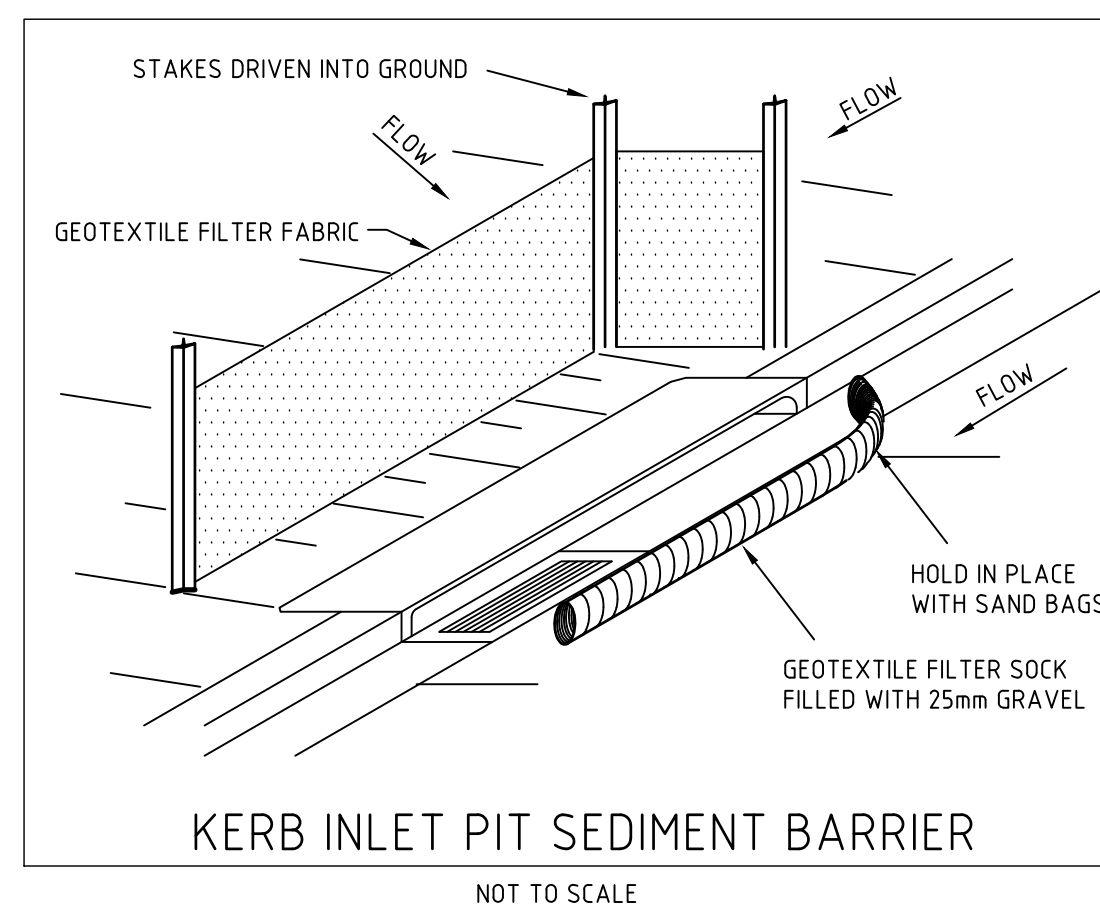
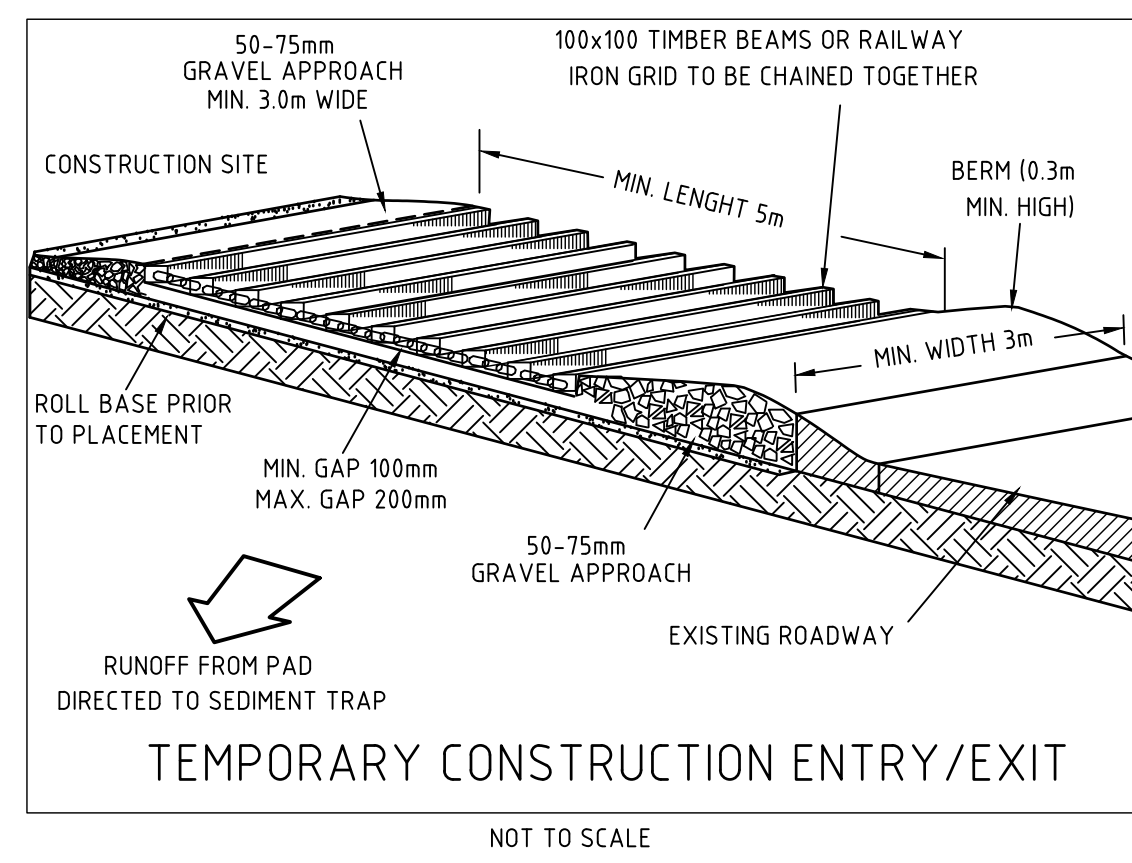
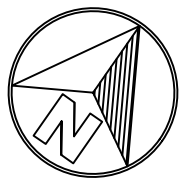
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18/09/2023

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SCALE:
NTS @ A1
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MP
JOB:
BGZF9
23104
CERTIFIED:
MP
REV:
C

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STATUS:			
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SW	7 of 7	C	